# VILLAGE OF HUNTLEY PLAN COMMISSION July 13, 2020 6:30 PM AGENDA



- 1. Call to Order
- 2. Pledge of Allegiance
- 3. Roll Call
- 4. Public Comments
- 5. Approval of Minutes
  - A. Approval of the May 11, 2020 Plan Commission Meeting Minutes
- 6. Public Hearing(s)
  - A. Petition No. 20-07.01, Spyratos Realty Co. Inc., as petitioner, and Bakley Enterprises, Inc., as owner, 10390 Vine Street, Request is for consideration of (i) a Special Use Permit for a Car Wash in the "B-3" Shopping Center Business District and (ii) Site Plan Review, including any necessary relief, in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.
  - B. Petition No. 20-07.02, Woodstock Hotel Inc., as petitioner, and Huntley Hotels, LLC, as owner, Lot 2 of the Huntley Crossings Final Plat of Subdivision (generally located east of Route 47 and south of Powers Road), Request is for consideration of a petition (i) Amending the Preliminary Planned Unit Development and for (ii) Final Planned Unit Development in order to construct a four-story Hampton Inn Hotel in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.
- 7. Discussion
- 8. Adjournment

MEETING LOCATION Village Board Room 10987 Main Street Huntley, IL 60142

The Village of Huntley is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding accessibility of the meeting or the facilities, please contact Lisa Armour, Interim Village Manager at (847) 515-5200. The Village Board Room is handicap accessible.

# VILLAGE OF HUNTLEY PLAN COMMISSION MEETING Monday, May 11, 2020

# **MINUTES**

# **CALL TO ORDER**

Chairman Tom Kibort called to order the Village of Huntley Plan Commission meeting for May 11, 2020 at 6:32 p.m. The meeting was held virtually in the Municipal Complex Village Board Room at 10987 Main Street, Huntley, Illinois 60142. In light of the COVID-19 public health emergency and the prohibition of public gathering of 10 or more, the Plan Commission conducted the meeting remotely via an online video platform, and the meeting was videotaped.

# **PLEDGE OF**

Chairman Kibort led the Pledge of Allegiance. ALLEGIANCE

15

20

10

5

# **ROLL CALL**

**PLAN** 

COMMISSIONERS: Commissioners Darci Chandler, Terra DeBaltz, Lori Nichols, Ron Hahn, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort.

# COMMISSIONERS **ABSENT:**

None

- Director of Development Services Charles Nordman and Development Manager 25 ALSO PRESENT: Margo Griffin
  - 4. Public Comments None.
- 30 5. Approval of Minutes

A. Approval of the February 24, 2020 Plan Commission Meeting Minutes

No additions or corrections were noted.

35

A MOTION was made to approve the February 24, 2020 Plan Commission Meeting Minutes.

	MOVED:	Commissioner Robert Chandler
	SECONDED:	Vice Chair Dawn Ellison
40	AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Vice
	×	Chair Dawn Ellison, and Chairman Tom Kibort
	NAYS:	None
	ABSTAIN:	Commissioners Ron Hahn and Terra DeBaltz
	<b>MOTION CARRIED</b>	5:0:2

45

B. Approval of the March 9, 2020 Plan Commission Meeting Minutes

No additions or corrections were noted.

A MOTION was made to approve the March 9, 2020 Plan Commission Meeting Minutes.

5		
	MOVED:	Vice Chair Dawn Ellison
	<b>SECONDED:</b>	Commissioner Ron Hahn
	AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron
		Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom
10		Kibort
	NAYS:	None
	ABSTAIN:	None
	<b>MOTION CARRIED</b>	7:0:0

- 15 6. Petition(s)
  - A. Petition No. 20-05.01, Weber –Stephen Products LLC, as petitioner and owner, 11811 Oak Creek Parkway – Request is for approval of a Preliminary/Final Plat of Subdivision to Resubdivide Lot 1 of Weber-Stephen Plat of Consolidation.

20

1

Chairman Kibort announced Director Nordman would be giving a PowerPoint presentation to review the petition.

Director Nordman reviewed a PowerPoint presentation.

25

30

Director Nordman stated the petitioner is requesting approval to resubdivide Lot 1 of Weber – Stephen Plat of Consolidation into two (2) lots. The existing lot includes the Weber – Stephen manufacturing facility and vacant land to the north of the facility. The petitioner is proposing subdivide the existing lot into two lots to allow for a future conveyance of the property. Lot 1 will be  $\pm 35.5$  acres and will include the existing manufacturing facility and associated parking. Lot 2 will be  $\pm 11.84$  acres and will consist of the vacant land located to the north of the manufacturing facility. Both proposed lots will have frontage on Oak Creek Parkway.

Director Nordman reviewed the zoning requirements for the petition. The subject property is zoned 35 "BP" Business Park which requires a minimum lot area of one (1) acre (there is no minimum lot width requirement). Both proposed lots conform to the minimum lot area requirement. Furthermore, the manufacturing facility and related improvements on Lot 1 will continue to conform to the bulk standards (building and parking setbacks, building coverage, etc.) for the "BP" zoning district.

40 Director Nordman stated the petitioner is requesting a motion of the Plan Commission to recommend approval of Petition No. 20-05.01, Requesting approval of a Preliminary/Final Plat of Subdivision to Resubdivide Lot 1 of Weber-Stephen Plat of Consolidation.

Director Nordman stated staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. Upon approval of the Final Plat by the Village Board, the Owner shall record the plat with the

Recorder of Kane County within three months. If not recorded within this time, the approval shall be null and void (Section 155.221(A)(5) of the Village's Subdivision Ordinance).

Director Nordman completed his presentation and informed Chairman Kibort that there were several people on the video connection from Weber Stephen who were available to answer questions from the Plan Commission when directed. Director Nordman also reminded the Commission this petition was not a public hearing and no swearing in was needed. Chairman Kibort thanked Director Nordman.

Chairman Kibort asked for representatives from Weber Stephen if they had anything to add. Ms. Liz
 Butler of the Law Firm of DLA Piper stated she did not have anything to add at this time, and also noted
 Phil Zadeik from Weber Stephen and Bill Bohne, the Civil Engineer, were on the call to answer questions.

Chairman Kibort asked the Plan Commission members for comments. All Commissioners were in favor of the resubdivision plans.

Chairman Kibort inquired on how Weber-Stephen was handling the Covid crisis and the economy. Phil Zadeik responded they had a temporary 2-week shutdown, but were quickly up and running with new health protection protocols in place. There were no other questions.

## 20

A MOTION was made to approve Petition No. 20-05.01, Weber –Stephen Products LLC, as petitioner and owner, 11811 Oak Creek Parkway – Request is for approval of a Preliminary/Final Plat of Subdivision to Resubdivide Lot 1 of Weber-Stephen Plat of Consolidation., subject to the following conditions:

25

30

35

1. Upon approval of the Final Plat by the Village Board, the Owner shall record the plat with the Recorder of Kane County within three months. If not recorded within this time, the approval shall be null and void (Section 155.221(A)(5) of the Village's Subdivision Ordinance).

	MOVED:	Commissioner Ron Hahn
	SECONDED:	Vice Chair Dawn Ellison
	AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron
		Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom
i		Kibort
	NAYS:	None
	ABSTAIN:	None
	MOTION CARRIED	7:0:0

40

45

- 6. Petitions/Public Hearings (continued):
  - B. Petition No. 20-05.02, Amin Dhanani on behalf of HZ Props RE, Ltd, as petitioner, and Ruby-02-HNTLYCMRCL, LLC, owner, Lot 3 in Huntley Crossings, Phase 2, Plat 1 (generally located east of Route 47 and north of Regency Parkway) – Request is for approval of (i) a Final Planned Unit Development, including any necessary relief and (ii) a Special Use Permit for a Drive-Through for a Popeyes Louisiana Kitchen in accordance

with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

Chairman Kibort announced Manager Griffin would be giving a PowerPoint presentation to review the petition.

Manager Griffin reviewed a PowerPoint presentation.

Manager Griffin stated HZ Props RE, Ltd., on behalf of Popeyes Louisiana Kitchen ("Popeyes") has
 submitted plans for a proposed 2,454 square foot restaurant with a drive-through to be located on Lot 3 of Huntley Crossings, Phase 2, Plat 1. The subject site is a ±1.14-acre lot located near the northeast corner of Route 47 and Regency Parkway, between O'Reilly Auto Parts and Panda Express.

Manager Griffin discussed the relevant underlying documents associated with the lot in question. The
Rubloff Development Phase II and III Annexation Agreement, Preliminary/Final Plat of Subdivision and
Preliminary Planned Unit Development for Huntley Crossings – Phase 2 established the framework for
development within the subdivision. The Second Amendment to the annexation agreement recorded in
2017 included increasing the number of drive-through restaurants allowed (from two to four) within the
subdivision and revised the parameters for signage (i.e. Outlot sign height increased from six (6') feet to
ten (10') feet and may be installed within ten (10') feet from the property line rather than fifty (50')
feet). The Final Planned Unit Development plan for each lot requires review and approval by the Plan
Commission and Village Board and adherence to the Village's Commercial Design Guidelines.

Manager Griffin discussed the process which staff reviewed the Popeyes Drive-Through petition and the overall Planned Unit Development, as follows:

# Site Plan

Manager Griffin reviewed the site plan. The Popeyes site plan proposes a 2,454 square foot building with parking for 20 vehicles and includes cross access to the parking lot for O'Reilly Auto Parts. The
building is oriented towards Route 47 and the main entrance to the restaurant is located on the south elevation of the building. Access to the site will be provided from the private access road at the rear of the site, in addition to the cross access with O'Reilly Auto Parts to the south. The site plan also includes a sidewalk connecting the walk at the rear access road to the main entrance on the south elevation.

# 35 Parking

Manager Griffin stated the Second Amendment Rubloff Development Phase II and III Annexation Agreement requires drive through eating establishments of 2,500 square feet or less to provide five (5) parking spaces per 1,000 square feet of floor area, thereby requiring thirteen (13) parking stalls for the subject site. Manager Griffin stated the proposed twenty (20) parking spaces exceed the required number

40 of parking spaces required for the restaurant. The site plan also includes parking stalls that are 10 feet in width and 19.5 feet in depth, which exceed the minimum dimensions required by the Zoning Ordinance. The width of the parking lot drive aisle is also greater than required and will measure 25.5 feet in width.

# **Building Elevations**

45 Manager Griffin reviewed the elevations. The proposed building elevations consist of three (3) shades of brick (Aspen White, Stone Grey, and Flagstaff) and composite wood accent material surrounding the window on the west elevation. Canopies will be located over all storefront windows and over the drivethrough pick-up area. Faux shutters will be located on the north and south elevations and gooseneck style light fixtures will be installed on all four elevations. The trash enclosure will be constructed of Stone Grey colored brick and will be connected to the rear of the building with a wrought iron gate.

### 5 Landscaping

10

25

Manager Griffin stated the landscape plan submitted for the site features foundation plantings, and one (1) shade tree internal to the site and fourteen (14) shade trees around the perimeter. Tree species include three (3) Ohio Buckeye, four (4) Chicagoland Hackberry, six (6) Chinkapin Oak, one (1) Bold Cypress, and one (1) American Basswod. The landscape plan includes a variety of plantings, including four (4) varieties of evergreen shrubs, four (4) species of deciduous shrubs, three (3) types of ornamental grasses, and three (3) species of perennials. The proposed plantings and trees meet or exceed the

Village's Landscape Ordinance and Commercial Design Guidelines.

# Site Lighting

15 The petitioners propose installation of six (6) decorative lantern-style parking lot light fixtures (4 single and 2 back-to-back), which match the lighting in the Panda Express parking lot to the north. The restaurant also utilizes decorative gooseneck wall mounted fixtures on all four sides of the building. The Village's Zoning Ordinance requires parking lot lighting to have an average minimum illumination of two foot-candles within the parking lot and a maximum of 0.5 foot-candles at the property lines. The 20 photometric plan meets the Village standards.

# Signage – Ground

Manger Griffin reviewed slides of the signage. The proposed ground signage for the restaurant consists of a two-sided, 3' x 7' (21 square foot/side), ten (10') foot tall monument sign adjacent to Route 47, and will be constructed of brick to match the building. The proposed monument sign meets the commercial design standards and Huntley Crossings Annexation Agreement. The sign includes an Electronic Message Center, which is prohibited by the Village's Sign Regulations; therefore, the message board will require relief to be approved by the Village Board.

### 30 Signage – Wall

Manager Griffin stated the proposed Popeyes sign plan includes five (5) wall signs. The proposed wall signage includes "Popeyes Louisiana Kitchen" signs on the west elevation, facing Route 47, and on the east elevation facing the access drive. The restaurant's round "building seal" logo will be located on both the north and south elevations. The south elevation also includes a non-illuminated acrylic wall

sign stating "love that chicken". 35

Building Elevation	Number of signs allowed	Number of signs proposed	of signs footage of of signs		Relief required
West (front)	1	1 <sup>(1)</sup>	26 SF Total for all signs	52.55	None
East (rear)	0	$1^{(1)}$		52.55	For one (1) sign
North (side) drive-thru	0	1 <sup>(2)</sup>		7.07	For one (1) sign

A slide with the proposed wall sign package breaks-down was reviewed.

South (side)	0	2 (2 & 3)		7.07 and 94.92	For two (2) signs
Total	1	5	26 SF 214.16		Four (4) addl. Signs and addl. 188.16 square feet

The three (3) types of proposed walls signs are:

(1) "Popeyes Louisiana Kitchen" sign, illuminated - 52.55 sf

- (2) "Popeyes" circle building seal sign, illuminated -7.07 sf
- (3) "Love That Chicken" acrylic FCO letters, non-illuminated, 94.92 sf

# 5

10

15

# Required Relief

Manager Griffin stated the proposed plans require the following relief:

- 1. The Sign Ordinance allows one wall sign per tenant or one per street frontage. The subject site has street frontage only on Route 47, therefore, allowing one (1) wall sign by right. Relief is required to allow four additional wall signs and an additional 188.16 square feet of wall signage. Such relief is consistent with relief approved for McDonald's, Panda Express, and Burger King.
  - 2. The ground sign includes an Electronic Message Board, which is prohibited by the Village's Sign Regulations; therefore, the message board will require relief.

# Special Use Permit

Manager Griffin reviewed the regulations and Special Use standards for the proposed drive-through restaurant. The Amended Annexation Agreement for the subject property limits drive-through restaurants to no more four (4) within the Phase II outlots. The proposed Popeyes restaurant with drivethrough represents the second of these establishments to develop on an outlot within the Huntley Crossings Phase II development, with the Panda Express restaurant adjacent to the north being the first.

Per the Huntley Zoning Ordinance, a Special Use Permit is required for drive-through food service in the "B-3" Shopping Center Business District and when reviewing a Special Use Permit, the Plan Commission must consider the standards identified in Section 156.068(E) of the Zoning Ordinance. No Special Use Permit shall be recommended or granted pursuant to Section 156.068(E) unless the applicant establishes the following:

- 30 Standards for Special Use Permits (1) General Standards. No special use permit shall be recommended or granted pursuant to this Section unless the applicant shall establish that:
- (a) Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.

(b) No Undue Adverse Impact. The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.

40 (c) No Undue Interference with Surrounding Development. The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with

the use and development of neighboring property in accordance with the applicable district regulations.

Adequate Public Facilities. The proposed use and development will be served adequately by (d)essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

5

(e) No Undue Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential street.

No Undue Destruction of Significant Features. The proposed use and development will not (f) result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.

Compliance with Standards. The proposed use and development complies with all additional 10 (g) standards imposed on it by the particular provision of this Code authorizing such use.

Manager Griffin referenced the petitioner's SUP qualifying statement and narrative was included in the packet information.

15

20

25

35

40

# Village Board Concept Review

Manager Griffin stated the Village Board reviewed the conceptual plans on February 13, 2020. The following is a summary of the comments by the Village Board: A Trustee commented on the width of vehicle stacking aisle at the entrance to the drive-through and stated there was not room to pass a vehicle should someone wish to exit the drive-through.

# Action Requested

Manager Griffin stated the petitioner is requesting a motion of the Plan Commission, to recommend approval of Petition No. 20-05.02, Requesting approval of (i) a Final Planned Unit Development, including any necessary relief and (ii) a Special Use Permit for a Drive-Through for a Popeyes Louisiana Kitchen in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

Manager Griffin stated staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board: 30

- 1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
- 2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
- 3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management. The petitioner, its agents and assignees are responsible for not increasing the rate of stormwater runoff and will be required, to the extent practicable, to minimize any increase in runoff volume through "retention" and design of multi stage outlet structures.
- 4. The petitioner shall obtain final approval of the Landscape Plan from the Development Services Department.
- 5. All permanent and seasonal plantings must be replaced immediately upon decline.
- 6. In accordance with the Village's Commercial Design Guidelines, screens, dormers or other features are required to conceal rooftop mechanical equipment on all sides of the structure if the Development Services Department determines that the parapet walls, as proposed, do not fully

45

screen said equipment.

- 7. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
- 8. No building plans or permits are approved as part of this submittal.
- 9. No sign permits are approved as part of this submittal.
- 10. The electronic message board sign shall contain static messages only and shall not have movement or the appearance or optical illusion of movement, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination or the flashing, scintillating or varying of light intensity other than that provided
- 10 through an automatic dimming system to control overall illumination intensity. Each message on the sign shall be displayed for a minimum of 10 seconds. The change of messages must be accomplished immediately.

Manager Griffin concluded her slide presentation, and introduced Ani Tipnis from AKA Architects, and
 Ryan Walter from Woolpert Engineering. Both were in attendance on behalf of the petitioner, HZ Props
 RE, Ltd., for the Popeyes Louisiana Kitchen with Drive Through.

Chairman Kibort thanked Manager Griffin and requested a motion to open the Public Hearing.

# 20 A MOTION was made to open the public hearing to consider Petition No. 20-05.02

MOVED:	Vice Chair Dawn Ellison
SECONDED:	Commissioner Lori Nichols
AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron
	Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom
	Kibort
NAYS:	None
ABSTAIN:	None
MOTION CARRIED	7:0:0

30

25

5

Chairman Kibort stated that as this public hearing, anyone wishing to testify must be sworn in and asked those wishing to please raise their right hand. He then swore in Ani Tipnis, Ryan Walter, and Manager Griffin.

35 Chairman Kibort asked the representatives for Popeyes if they had anything to add. Mr Tipnis stated staff had done a good job of reviewing the petition and they had nothing to add at this time, but were available for questions.

Chairman Kibort then asked for comments or questions from the Commission.

40

Commissioner Robert Chandler stated he likes the architectural look of the project. He stated he also drove through similar projects in Huntley and noted they had similar amount of signage. He has no problem with this project, and asked about when the ground breaking would occur. Mr Tipnis stated they planned to break ground in the fall.

45

Commissioner Terra DeBaltz stated she has watched the Elgin Popeyes get constructed (same developer) and she likes the look of it. Commissioner DeBaltz also commended them on the drive-

through design.

Commissioner Lori Nichols stated she liked the project and her comments had already been raised. She looks forward to the restaurant opening.

5

Chairman Tom Kibort praised the design of the building, including the colors, materials, and lighting. Chairman Kibort did raise a comment on the drive-aisle width at the entrance to the drive-through and thought it could benefit from being widened. Mr. Tipnis stated they would definitely look at the design if the Commission so desired.

10

15

Vice Chair Dawn Ellison likes the project and did not have any issues.

Commissioner Ron Hahn likes the look of the building, and that all rooftop mechanicals will be shielded by parapet walls. He is also in favor of the cross access with O'Reilly's. Commissioner Hahn had questions about the garbage delivery and whether it would interfere with traffic flow. Mr. Tipnis stated the garbage hauling hours could be restricted to non-peak times. Commissioner Hahn commented he thought the Popeyes electronic billboard should prohibit them from asking for temporary signage that sometimes can become an evesore along the Route 47 corridor.

20 Commissioner Darci Chandler stated her comments had been addressed and she was in favor of the project.

There were no further comments from the Commission.

25 Chairman Kibort requested a motion to close the public hearing.

A MOTION was made to close the public hearing to consider Petition No. 20-05.02.

	MOVED:	Commissioner Robert Chandler
30	SECONDED:	Commissioner Lori Nichols
	AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron
		Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom
		Kibort
	NAYS:	None
35	ABSTAIN:	None
	<b>MOTION CARRIED</b>	7:0:0

Chairman Kibort requested a motion to approve the petition.

- A MOTION was made to approve Petition No. 20-05.02, Amin Dhanani on behalf of HZ Props RE, Ltd, as petitioner, and Ruby-02-HNTLYCMRCL, LLC, owner, Lot 3 in Huntley Crossings, Phase 2, Plat 1 (generally located east of Route 47 and north of Regency Parkway) Request is for approval of (i) a Final Planned Unit Development, including any necessary relief and (ii) a Special Use Permit for a Drive-Through for a Popeyes Louisiana Kitchen in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the
- 45 that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance, subject to the following conditions:

- 1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
- 2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
- 3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management. The petitioner, its agents and assignees are responsible for not increasing the rate of stormwater runoff and will be required, to the extent practicable, to minimize any increase in runoff volume through "retention" and design of multi stage outlet structures.
  - 4. The petitioner shall obtain final approval of the Landscape Plan from the Development Services Department.
- 5. All permanent and seasonal plantings must be replaced immediately upon decline.
  - 6. In accordance with the Village's Commercial Design Guidelines, screens, dormers or other features are required to conceal rooftop mechanical equipment on all sides of the structure if the Development Services Department determines that the parapet walls, as proposed, do not fully screen said equipment.
- 0 7. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
  - 8. No building plans or permits are approved as part of this submittal.
  - 9. No sign permits are approved as part of this submittal.
  - 10. The electronic message board sign shall contain static messages only and shall not have movement or the appearance or optical illusion of movement, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination or the flashing, scintillating or varying of light intensity other than that provided through an automatic dimming system to control overall illumination intensity. Each message on the sign shall be displayed for a minimum of 10 seconds. The change of messages must be accomplished immediately.

The Plan Commission added the following conditions of approval:

- 11. The petitioner shall work with Development Services staff to increase the drive-through drive aisle width at the east entrance in order to provide escape access for cars entering the
- 35 **drive through.** 
  - 12. Trash pickups must be scheduled during off-peak hours.

	MOVED:	Commissioner Robert Chandler
40	SECONDED:	Commissioner Lori Nichols
	AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron
		Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom
		Kibort
	NAYS:	None
45	ABSTAIN:	None
	<b>MOTION CARRIED</b>	7:0:0

10

15

5

20

25

30

7. Discussion

5

Director Nordman stated that due to the Memorial Day holiday, the next regularly scheduled meeting is Monday, June 8, 2020, and staff is anticipating a Public Hearing for a Simplified Residential Zoning Variation would be heard on that date. He added this would be the first petition for the current Members to act as the Zoning Board.

- 8. Adjournment
- 10 At 7:29 pm, a MOTION was made to adjourn the May 11, 2020 Plan Commission meeting.

	<b>MOVED:</b>	Vice Chair Ellison
	SECONDED:	Commissioner Lori Nichols
	AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron
15		Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom
		Kibort
	NAYS:	None
	ABSTAIN:	None
	<b>MOTION CARRIED</b>	7:0:0
20		
	Respectfully submitted,	
	1	

Março Griffin Development Manager Village of Huntley

# Village of Huntley **REQUEST FOR PLAN COMMISSION ACTION PUBLIC HEARING**

### **MEETING DATE:** July 13, 2020

**SUBJECT:** Petition No. 20-07.01, Spyratos Realty Co. Inc., as petitioner, and Bakley Enterprises, Inc., as owner, 10390 Vine Street, Request is for consideration of (i) a Special Use Permit for a Car Wash in the "B-3" Shopping Center Business District and (ii) Site Plan Review, including any necessary relief, in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

# **BACKGROUND INFORMATION**

Petitioner:	Pete Spyratos Spyratos Realty Co. Inc. 1034 DeKalb Ave. Sycamore, IL 60178
Owner:	Bakley Enterprises, Inc. 10900 N. Church Street PO Box 145 Huntley, IL 60142
Subject Location:	10390 Vine Street, Huntley, IL.
Request:	This application is filed for the purpose of requesting approval of (i) a Special Use Permit for a Car Wash in the "B-3" Shopping Center Business District and (ii) Site Plan Review, including any necessary relief, in accordance with the site plan that has been submitted. The petitioner is proposing to reopen the former Huntley Car Wash as Premier Car Wash. The property is zoned B-3 Shopping

Center Business District.

Zoning, Land Use and Comprehensive Plan:

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN
Property in Question	"B-3" Shopping Center Business District	Closed car wash	Retail and Service Commercial
North	"B-3" Shopping Center Business District	Vacant	Retail and Service Commercial
South	"B-3" Shopping Center Business District	Retail and Service	Retail and Service Commercial
East	"B-3" Shopping Center Business District	Retail and Service	Retail and Service Commercial
West	"B-3" Shopping Center Business District	Retail and Service	Retail and Service Commercial

# **INTRODUCTION**

The petitioner, Peter Spyratos, is proposing to purchase the former Huntley Car Wash located at 10390 Vine Street and reopen it as Premier Car Wash. Mr. Spyratos also owns Premier Car Wash in Sycamore.

# **Staff Analysis**

# Site Plan & Parking Lot

Mr. Spyratos proposes to utilize the existing structure and update the equipment to include three (3) touchless automatic car wash bays. The building will be power washed, and the red cinder block will be covered with Premier's prototypical blue signage board. The north vacuum station will be replaced with a new pay station and southern vacuum station will remain as existing. The entire parking lot will be repaved and restriped, and the plans indicate stacking for 24 vehicles. There are four (4) 10' x19' parking spaces proposed adjacent to the vacuum at the south side of the lot.

# Landscaping

The proposed landscape plan depicts two new planting beds on the north side of the site. Three (3) 2-inch caliper American Hornbeam trees are included in the plan, and several groupings of bushes, grasses, and perennials are well spaced between the trees.

# Lighting

Parking lot lighting on the site will be replaced with three (3) new Lithonia light poles and the Lithonia D-Series Size 1 LED Area Luminaire fixtures. The light fixtures will be required to provide the requisite 2.0 foot-candle average for the parking area and the 0.5 foot-candle maximum at the property line.

# Signage

The proposed signage includes six (6) wall signs. This includes two (2) illuminated "Premier Car Wash" channel letter signs (54 SF each) on the west and east sides, and two (2) illuminated "Touchless Laserwash" channel letter signs (57 SF each) on the north and south sides. All channel letter signage will be attached to the 32" tall composite aluminum blue panel, which is proposed to wrap around the upper façade of the entire building. The east side of the building includes one (1) illuminated "water swoosh" sign measuring 30 square-foot, and the west side of the building will have the entrance door wrapped with the "water swoosh" logo, measuring 20 square-foot.

Building elevation	Number of signs <b>allowed</b>	Number of signs <b>proposed</b>	Square footage of signs <b>allowed</b>	Square footage of signs <b>proposed</b>	Relief Required
West (Vine St.)	1	$2^{(1\&3)}$	65 SF	84 SF	1 sign and 19 SF
East (Rt. 47)	1	$2^{(1\&4)}$	65 SF	64 SF	1 sign
North (side)	0	$1^{(2)}$	None	57 SF	1 sign and 57 SF
South (side)	0	1 <sup>(2)</sup>	None	57 SF	1 sign and 57 SF
Total	2	6	130 SF	262 SF	Four (4) addl. signs and addl. 132 square feet

The four (4) types of proposed walls signs are:

(1) "Premier Car Wash" illuminated channel letters- 54 SF

(2) "Touchless Laserwash" illuminated channel letters - 57 SF

(3) "Water Swoosh" logo - acrylic, illuminated, 30 SF

(4) "Water Swoosh" logo - west entrance with "wrapped" art design over entire door - 20SF

# **REQUIRED RELIEF**

The following relief will be considered as part of the Site Plan Review:

## Signage

 In accordance with Section 156.123 of the Sign Ordinance, the building would be permitted two wall signs as it fronts two streets (Route 47 and Vine Street). Each street frontage would be allowed one sign and 65 square foot of sign area; therefore, relief will be required to allow four (4) additional wall signs, and 132 additional square feet of sign area.

# Village Board Conceptual Review

The Village Board reviewed conceptual plans for the project at their June 11, 2020 meeting and generally gave positive reviews for the project. One trustee mentioned he wanted the proposed six (6) bushes on the north side to be taller than 4-foot. The petitioner has since improved the landscaping on the north side to include three (3) trees, and several bushes, decorative grasses, and perennials. Additional questions included whether the building would be painted, and how many vehicles would be stacked. The petitioner will be power washing and tuck-pointing the building, and has included a stacking plan as an exhibit in this report.

# Special Use Permit

When reviewing a Special Use Permit the Plan Commission must consider the standards identified in Section 156.068(E) of the Zoning Ordinance. No Special Use Permit shall be recommended or granted pursuant to Section 156.068(E) unless the applicant establishes the following (*The petitioner's responses to the standards are provided as an exhibit to this report*):

- (a) *Code and Plan Purposes.* The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.
- (b) *No Undue Adverse Impact.* The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.
- (c) *No Undue Interference with Surrounding Development.* The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.
- (d) *Adequate Public Facilities*. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
- (e) *No Undue Traffic Congestion.* The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential street.
- (f) *No Undue Destruction of Significant Features.* The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.
- (g) *Compliance with Standards*. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

# **ACTION REQUESTED**

The petitioner requests a motion of the Plan Commission, to recommend approval of Petition No. 20-07.01, Spyratos Realty Co. Inc., as petitioner, and Bakley Enterprises, Inc., as owner, 10390 Vine Street, Requesting approval of a (i) a Special Use Permit for a Car Wash in the "B-3" Shopping Center Business District and (ii) Site Plan Review, including any necessary relief for Premier Car Wash.

Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

- 1. All public improvements and site development must occur in full compliance with the submitted plans and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
- 2. The petitioners will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.

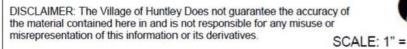
- 3. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
- 4. The petitioner shall obtain final landscape approval of the Landscape Plan from the Development Services Department.
- 5. All permanent and seasonal plantings must be replaced immediately upon decline.
- 6. The lighting fixtures will be required to provide the minimum 2.0 foot-candle average for the parking area and the 0.5 foot-candle maximum at the property line.
- 7. No building plans or permits are approved as part of the submittal.
- 8. No sign permits are approved as part of the submittal.

# EXHIBITS

- 1. Aerial photo
- 2. Plat of Subdivision indicating site location
- 3. Site plan, including paving, striping, and vehicle stacking
- 4. Landscape plan
- 5. Sign Plan
- 6. Lighting plan
- 7. Street view photos former Huntley Car Wash
- 8. Photos Premier Car Wash in Sycamore
- 9. Special Use Permit Petitioner's response to Standards



# Village of Huntley GIS Lot 2 of Resub of Lot 3, Bakley's 18th Addition



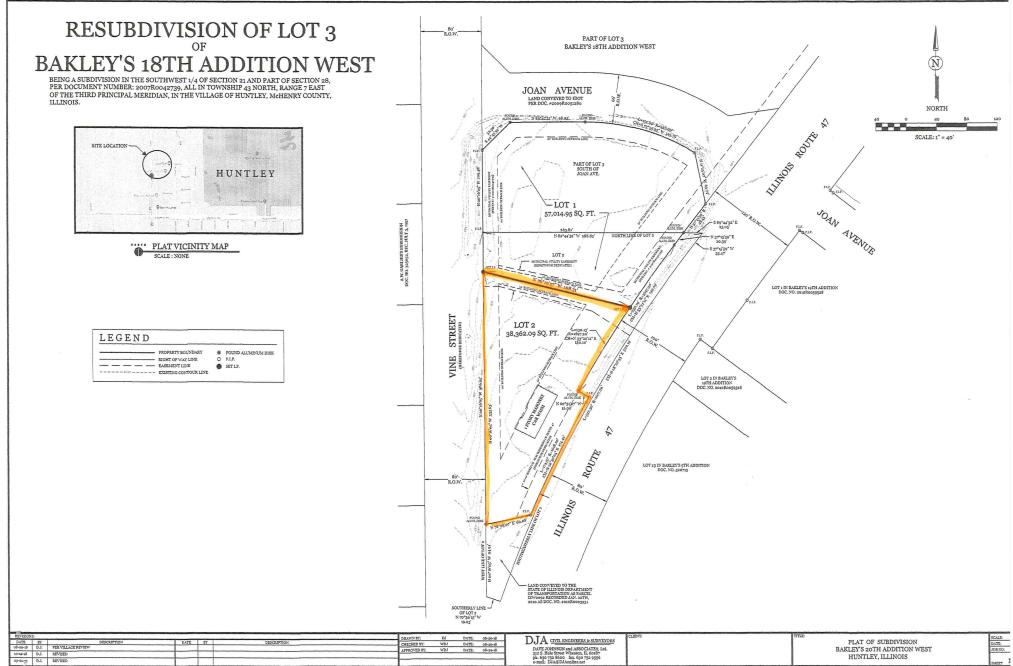


# VILLAGE OF HUNTLEY 10987 Main Street

10987 Main Street Huntley, IL 60142 (847)669-9600

Print Date: 6/3/2020

2020R0018/109 Jacket # 1380-14



μ

# 31' total width

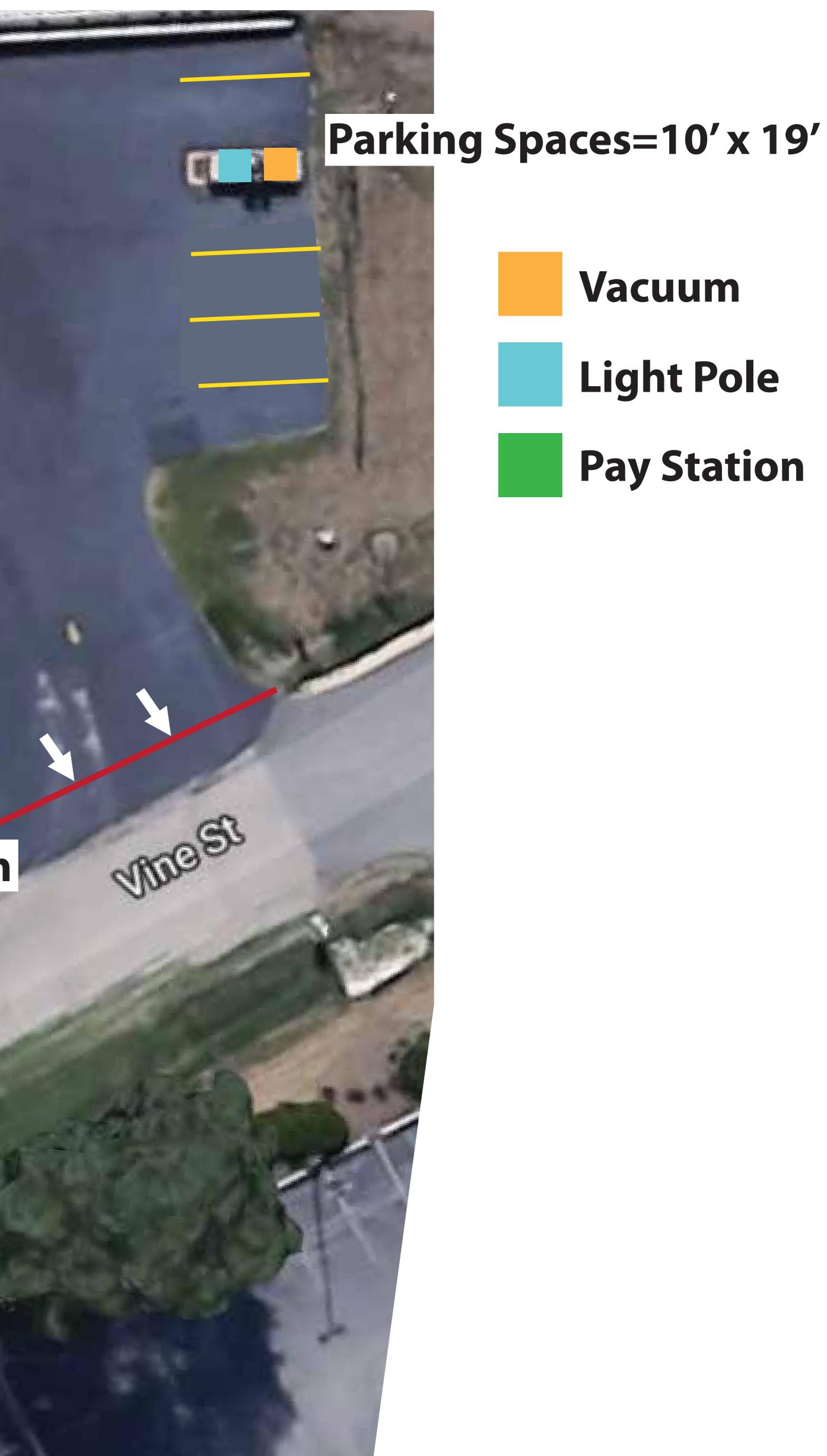


# 65'l x 30' w x 15' h

# 49' total width







# Vacuum Light Pole **Pay Station**



# 65'l x 30' w x 15' h



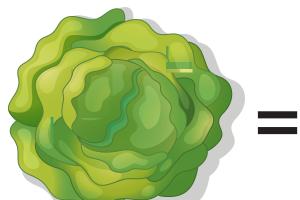
# Vacuum Light Pole **Pay Station**















# Beds to be mulched annually.

# = 2 caliper american hornbeam

# building dimensions: 65'l x 30' w x 15' h

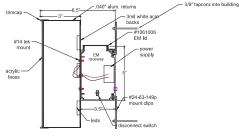


# **Blue Fascia**

Built in 8' wide sections, these composite aluminum blue panels would have a finished height of 32". There would be a 1" deep return (thickness) that will allow the panels to blind attach aluminum angle mounted

Example of Finished Product







# **FEATURES & SPECIFICATIONS**

INTENDEDUSE — Thesespecificationsare for USAstandardsonly. Checkwith factory for Canadian specifications. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

**CONSTRUCTION** — **Pole Shaft:** The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, .1196"), or 50 KSI (7-gauge, .1793"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small comer radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

Pole Top: A flush non-metalic black top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with PT option.

**Handhole:** A reinforced handhole with grounding provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5".

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

Anchor Base/ Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

HARDWARE – All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

FINISH – Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

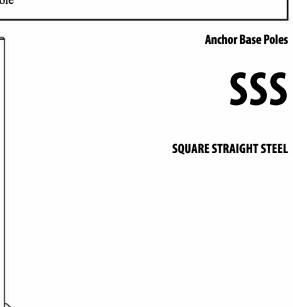
WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms and conditions.aspx

**NOTE**: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

## Catalog Number SSS 15 5G DM19AS DDBXD

Notes TLE

Type A Pole



# **D-Series Size 1** LED Area Luminaire d"series

		NIGHTTIME FRIENDLY	
ida	1		

Specificati	ons	
EPA:	1.01 ft <sup>2</sup> (0.09 m <sup>2</sup> )	w
Length:	33" (83.8 cm)	
Width:	13" (33.0 cm)	L
Height H1:	7-1/2" (19.0 cm)	H1 H2
Height H2:	3-1/2"	
Weight (max):	27 lbs (12.2 kg)	

### Catalog DSX1 LED P6 40K T3M MV HS SPUMBA DDBX Number

Notes carwash

Туре A Fixture

Hit the Tab key or mouse over the page to see all interactive elements.

# Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Order	ing Information		EXAMPLE: DSX1 LED P7 40	к тзм м	VOLT SPA NLT	AIR2 PIRHN DDBXI
DSX1 LED						
Series	LEDs Co	olor temperature	Distribution	Voltage	Mounting	
DSX1 LED	P1 P4 P7 4	30K 3000 K 40K 4000 K 50K 5000 K	T1SType I shortT5VSType V very shortT2SType II shortT5SType V shortT2MType II mediumT5MType V mediumT3SType III shortT5WType V wideT3MType III mediumBLCBacklight control <sup>2</sup> T4MType IV mediumLCCOLeft corner cutoff <sup>2</sup> TFTMForward throwRCCORight corner cutoff <sup>2</sup>	MVOLT <sup>3</sup> 120 <sup>4</sup> 208 <sup>4</sup> 240 <sup>4</sup> 277 <sup>4</sup> 347 <sup>4,5,</sup> 480 <sup>4,5</sup>	RPA Round WBA Wall b SPUMBA Square RPUMBA Round Shipped separately KMA8 DDBXD U Mast a	e pole mounting pole mounting racket e pole universal mounting adaptor <sup>6</sup> pole universal mounting adaptor <sup>6</sup> rrm mounting bracket adaptor fy finish) <sup>7</sup>
Control optic	ons			Other option		Finish (required)
PIRHN I PER I PER5 I PER7 S	stalled nLight AIR generation 2 enabled <sup>8</sup> Network, high/low motion/ambient senso NEMA twist-lock receptacle only (controls Five-pin receptacle only (controls ordered Seven-pin receptacle only (controls order 0-10v dimming wires pulled outside fixtt	bls ordered separate) <sup>10</sup> ed separate) <sup>10,11</sup> ered separate) <sup>10,11</sup> ture (for use with an	ambient sensor enabled at 5fc 15,16	SF Single DF Double L90 Left ro	e-side shield <sup>17</sup> fuse (120, 277, 347V) <sup>4</sup> e fuse (208, 240, 480V) <sup>4</sup> tated optics <sup>1</sup> rotated optics <sup>1</sup>	DDBXD     Dark bronze       DBLXD     Black       DNAXD     Natural aluminum       DWHXD     White       DDBTXD     Textured dark bronze       DBLBXD     Textured black       DNATXD     Textured natural aluminum







Site Photos - Premier Car Wash, Sycamore IL



5

E



T









June 24, 2020

Director of Development Services Village of Huntley 10987 Main Street Huntley, IL 60142 T: 847.515.5258

Re: Spyratos Realty Co. Inc. Reopening of the former Huntley car wash as Premier Car Wash Address- 10390 Vine Street Huntley, IL 60142

Dear Members of the Plan Commission and Members of the Village Board:

On behalf of Spyratos Realty Co inc.– Premier Car Wash please find our responses to Special Use Standards below as required for the PUD/SUP request and project review.

Per the Village of Huntley Zoning Ordinance, Special Use Permits, we ask that staff, the Plan Commission and Village Board consider our response to the following regarding Standards for Special Use Permits:

A. Code and Plan Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan:

• The proposed reopening of Huntley car wash as Premier car wash and Special Use if granted, will be in harmony with and in compliance with the Standards and Ordinances set forth by the Village of Huntley.

• The area is already a large commercial/shopping hub for the Village of Huntley. The addition of 3 Laserwash Touchless Automatic Machines will add a convenient automotive washing service option for local residents.

The site is located in a commercial area and is not anticipated to affect the public's comfort or

welfare.

• It is our opinion that a touchless car wash facility fits well within the District and is also an appropriate use as it is adjacent to other Commercial uses.

Director of Development Services Final PUD/SUP Review, Huntley, IL

B. No Undue Adverse Impact: The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.

• The reopening of the former Huntley car wash as Premier car wash as proposed will not impede the development of adjacent properties for uses already permitted in the adjacent Commercial and Residential Districts, nor will it detract from or negate development as allowable in the adjacent properties.

• The reopening of the former Huntley Car Wash as Premier Car Wash will not have an adverse effect upon the character, public health, safety and general welfare of the area.

C. No Undue Interference with Surrounding Development: The proposed use, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

• The proposed reopening of Huntley Car Wash as Premier Car Wash and Special Use if granted, will not create any undue interference with surrounding development past, present or future, and in full compliance with all Village of Huntley Regulations and applicable code standards.

D. Adequate Public Facilities: The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities (water consumption and waste generation), drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

• The proposed development and Special Use if granted, will have adequate Public Services for this development. It is assumed that because the site is within the Village of Huntley, Police and Fire services will be provided by the Village/Township.

E. No Undue Traffic Congestion: The proposed use and reopening of the former Huntley Car Wash as Premier Car Wash will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

• The proposed reopening of the former Huntley Car Wash as Premier Car Wash and Special Use if granted, will not create any Undue Traffic Congestion during or after construction. Premier car wash will have adequate que lanes (as you can see on our parking lot plan) to accommodate long lines on busy days. Our parking lot plan shows how well our traffic patterns on site will flow.

• The proposed development will not draw any significant amounts of traffic through any adjacent residential streets. The area is already a large commercial/shopping hub for the Village of Huntley. The addition of a Touchless car wash site will add convenient automotive washing service options for local residents.

F. No Undue Destruction of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic features of significant importance.

• The proposed reopening of the former Huntley Car Wash as Premier Car Wash and Special Use if granted, will not create any Undue Destruction of Site Features of significant importance. The area is already a large commercial/shopping hub for the Village of Huntley.

G. Compliance with Standards: The proposed use and remodeling complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

• The proposed reopening of the former Huntley Car Wash as Premier Car Wash and Special Use if granted, will be remodeled in full compliance with all Village and applicable Code standards.

• Spyratos Realty Co Inc. owns and operates Premier Car Wash in Sycamore Illinois and has experience in the touchless car washing field and ensures that the proposed reopening of the former Huntley Car Wash structure and general site layout is in compliance with the Standards and Ordinances set forth by the Village of Huntley.

In conclusion, it is our perspective that the potential public benefits of this proposed Special Use far outweigh any potential or perceived adverse impacts. It is our hope that Village staff and Members of the Plan Commission and Village Board will find in favor of this PUD/Special Use request. On behalf of myself, Spyratos Realty Co Inc. and Premier Car Wash we thank you in advance for your consideration and look forward to presenting our project to the Plan Commission and Village Board. In the interim, please contact me with any questions regarding our submission or if any additional information is required. I can be reached at (815)761-3358 or via email at petesmail83@yahoo.com

Sincerely,

Pete Spyratos Premier Car Wash Spyratos Realty Co. Inc.

# Village of Huntley REQUEST FOR PLAN COMMISSION ACTION PUBLIC HEARING

# MEETING DATE: July 13, 2020

**SUBJECT:** Petition No. 20-07.02, Woodstock Hotel Inc., as petitioner, and Huntley Hotels, LLC, as owner, Lot 2 of the Huntley Crossings Final Plat of Subdivision (generally located east of Route 47 and south of Powers Road), Request is for consideration of a petition (i) Amending the Preliminary Planned Unit Development and for (ii) Final Planned Unit Development in order to construct a four-story Hampton Inn Hotel in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

# **BACKGROUND INFORMATION**

Petitioner:	Woodstock Hotel, Inc. 10740 Bull Valley Drive Woodstock, IL 60098
Owner:	Huntley Hotels, LLC 10740 Bull Valley Drive Woodstock, Illinois 60098
Subject Location:	Lot 2 of the Huntley Crossings Final Plat to Subdivision (generally located east of Route 47 and south of Powers Road)
Request:	The petitioner is requesting approval for amending the Preliminary Planned Unit Development for Huntley Crossings and for approval of a Final Planned Unit Development in order to construct a four-story Hampton Inn Hotel.

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN
Property in	"B-3 (PUD)" Shopping Center	Vacant	Retail and Service Commercial
Question	Business – Planned Unit		
	Development		
North	"B-3 (PUD)" Shopping Center	Vacant	Retail and Service Commercial
	Business – Planned Unit		
	Development		
South	"BP" Business Park	Gateway Commons	Business Park
East	Unincorporated Kane County	Agricultural	Business Park
	"F" Farming	C	
West	"B-3 (PUD)" Shopping Center	Stormwater	Retail and Service Commercial
	Business – Planned Unit	Management / Vacant	
	Development	_	

# **Development Summary**

The petitioner is proposing to construct a 4-story, 100-room Hampton Inn hotel on Lot 2 of Huntley Crossings. The hotel is proposed to be located on the site which was previously approved in 2007 for a Home Depot store.

# **Staff Analysis**

# Amending the Preliminary Planned Unit Development

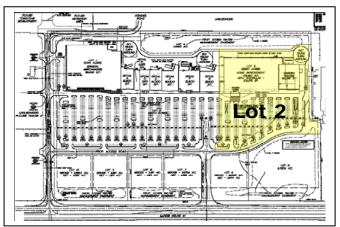
The Preliminary Planned Unit Development (PUD) for Huntley Crossings Phase I was approved by the Village Board on November 16, 2006 (Ordinance (O)2006-11.104). The Preliminary PUD proposed for Lot 2 ( $\pm$ 11.3 acres) to be developed as big box retail (Home Depot). Home Depot later submitted a petition and was approved for Final Planned Unit Development to construct of a 104,208 square foot store and associated 28,086 square foot garden center (Ordinance (O)2007-06.30); However, due to the state of

the economy Home Depot did not move forward with construction and later sold the property.

The proposed amendment to Huntley Crossings Phase I would modify the Preliminary PUD to allow for construction of a hotel on Lot 2, rather than big box retail as contemplated by the original plan.

# Final Planned Unit Development

The petitioner is proposing to construct a 4story, 100 room Hampton Inn hotel on Lot 2 of the Huntley Crossings Final Plat of Subdivision. The  $\pm 63,208$  square foot hotel will include an indoor pool, breakfast area for



2006 Preliminary Planned Unit Development

guests and a meeting room capable of seating 34 people.

## Site Plan

The proposed site plan for the hotel will occupy approximately 3.7 acres of the  $\pm 11.3$ -acre lot (the petitioner is not proposing to subdivide the property at this time and would return at a later date to subdivide the lot when future users have been identified for the remain portions of Lot 2). The hotel's main entrance will face towards Route 47 and parking will be provided on all four sides of the building.

Access to the site will be provided by extending the existing north/south access road which also serves the outlots along Route 47 and provides access to the Route 47 signalized intersection. Pedestrian access to the site will be provided by extending the sidewalk which currently terminates at Harris Bank. Additional sidewalk connections will be constructed as the remaining outlots are developed, including a connection to the Route 47 multi-use path at the time Lot 4 is developed.

The trash enclosure will be located at the southeast corner of the site and will be constructed of stone veneer to match the building. The enclosure will also include a 16'-0" by 12'-6" storage building that will be clad in stone veneer.

# Parking

The Zoning Ordinance requires that a hotel provide one (1) parking space per guest room plus 50% of the spaces required for accessory restaurants and/or meeting rooms. The Hampton Inn has 100 guest rooms and a meeting room and breakfast area that will each seat 34 people, therefore requiring 122 parking spaces. In compliance with Zoning Ordinance requirements the proposed site plan provides 124 parking spaces, including 5 accessible parking spaces. The site plan also provides 2 spaces for RV/trailer parking, as requested by the Village Board. A bicycle rack has also been provided near the main entrance to the hotel.

The following table provides a further summary of the parking requirements.

Use	Parking Required	<b>Parking Proposed</b>	
Hotel –	100 spaces (1 space per guest room)	100 spaces	
100 guest rooms			
Breakfast Area –	11 spaces (0.3 spaces per seat)	12 spaces	
34 seats		-	
Meeting Room –	11 spaces (0.3 spaces per seat)	12 spaces	
34 seats		-	
	122 spaces	124 spaces	

# Required Parking

# **Building Elevations**

The proposed 4-story building elevations include the use of stone veneer around the first floor of the building, an architectural wood look panel on portions of the front elevation (west), and five (5) different colors of EIFS on the remainder of the building. Staff notes, the Village's Commercial Design Guidelines prohibit the use of EIFS. The building also includes a porte cochere at the main entrance that will have columns clad in stone veneer.

The height of the proposed building is 56 feet / 4-stories, which exceeds the maximum height permitted in the "B-3" Shopping Center Business zoning district. The "B-3" district permits a maximum height of 3 stories / 35 feet. The building will exceed the maximum permitted height by 1 story / 21 feet, therefore, requiring relief to be considered as part of the planned unit development.

# Landscaping

The proposed landscape plan has been prepared in conformance with the Village's landscape ordinance and Commercial Design Guidelines. The plan includes various species of 3-inch caliper trees around the perimeter of the site and within the parking lot. Foundation plantings are also provided on all four elevations of the building.

# Site Lighting

Parking lot lighting will consist of LED pole mounted fixtures that are 25 feet in height. Additional lighting will include wall mounted fixtures on the north, south, and east building elevations and under canopy lighting at the front entrance. The parking lot photometric plan meets the Zoning Ordinance requirement of providing an average minimum illumination of two (2) foot candles. The petitioner will need to add photometric readings at the perimeter of the property in order to verify conformance with maximum foot candles at the property's perimeter lot lines.

# Signage – Wall

The proposed wall signage for the hotel consists of three signs that will be mounted at the top of the north, west, and south building elevations. Staff notes, the architectural building elevations also include a wall sign on the rear elevation (east) of the building; however, the Site Signage Plan does not propose a wall sign on the rear elevation.

The Zoning Ordinance permits one wall sign per tenant and limits the sign to the street frontage face of the building. In accordance with the Ordinance, the hotel would be permitted one wall sign by right since it only fronts on Route 47. Relief is required to allow the wall signs to be located on the north and south building elevations and allow 23.53 square feet of additional wall signage.

The following table provides a summary of the proposed wall signage:

Location	# of Signs	# of Signs	Sign Area	Maximum Sign
	Proposed	Permitted	Proposed	Area Allowed
North	1	0	79.5	0 sq. ft.
Elevation				
South	1	0	79.5	0 sq. ft.
Elevation				
West Elevation	1	1	112	247.47 sq. ft.
(front)				
Total	3	1	271 sq. ft.	247.47 sq. ft.

# Signage – Ground

The proposed ground sign will be located near the northwest corner of the site, near the entrance to the hotel's parking lot. The sign will stand 12'-6" in height and positioned so that it faces towards Route 47. The sign face will have an area of approximately 41.76 square feet. The Annexation Agreement for the site requires that ground signs for the Route 47 outlots not exceed six (6) feet in height, but does not provide specific requirements for ground signs on the lots planned for big box retail because the development was to have two (2) shopping center monument signs along Route 47. The monument signs were to stand thirty (30) feet in height and would advertise the big box and in-line retail on the lots without direct frontage on Route 47. Those signs have not been constructed nor is there a plan to construct the signs in the near future.

The base of the ground sign is currently proposed as aluminum which does not comply with the Sign Ordinance or Commercial Design Guidelines. Both documents require the base of the sign to be constructed of brick or stone. Staff recommends the base of the ground sign be clad with the same stone veneer that is used on the building.

# **Required Relief**

- Section 156.039(C)(5) of the Zoning Ordinance allows a maximum building height of 3 stories / 35 feet in the "B-3" Shopping Center Business zoning district. The proposed height of the hotel is 4 stories / 56 feet, thus requiring relief to be approved as part of the Final Planned Unit Development.
- 2. Section 156.123 of the Zoning Ordinance, allows one wall sign per tenant or one wall sign per street frontage on corner lots. Section 156.123 also states the total surface area of all wall signs on a building shall not exceed one (1) square foot for each lineal foot of the building frontage. The site has frontage on only Route 47 and the building's frontage measures 247.47 feet, therefore allowing one wall sign measuring up to 247.47 square feet. Relief is required to allow a total of three (3) wall signs totaling ±271 square feet.

# Village Board Concept Review

The Village Board discussed the proposed plan at their meeting on May 28, 2020, and provided the following comments:

- 1. Provide parking spaces for RV's and vehicles with trailers. *In response, the petitioner has added two spaces on the north end of the parking lot to accommodate larger vehicles.*
- 2. It was recommended that EIFS cover no more than 30% of the building.

# **ACTION REQUESTED**

The petitioner requests a motion of the Plan Commission, to recommend approval of **Petition No. 20-07.02**, **Requesting to (i) Amend the Preliminary Planned Unit Development and for (ii) Final Planned Unit Development in order to construct a four-story Hampton Inn Hotel in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.** 

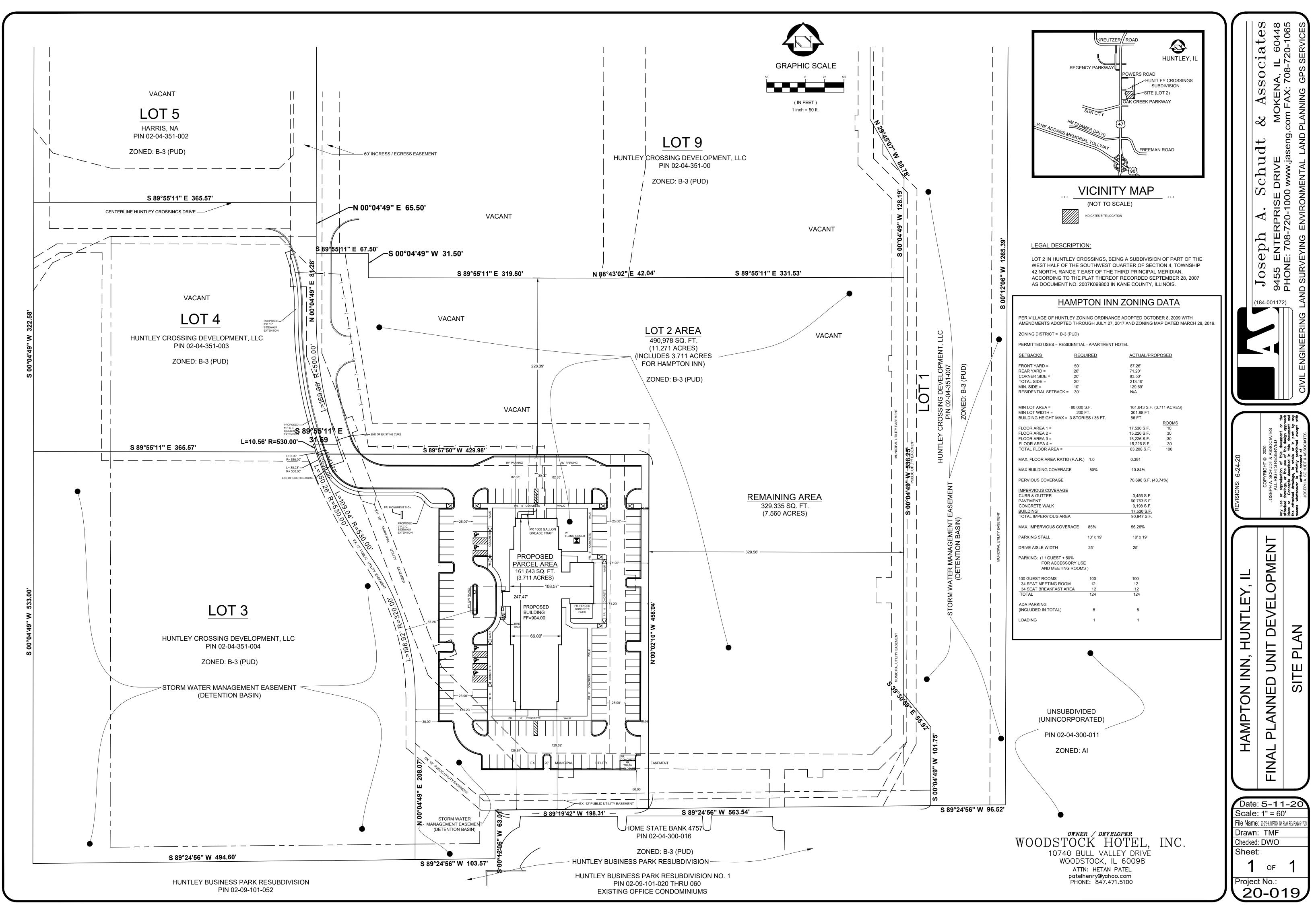
Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

- 1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
- 2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
- 3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management. The petitioner, its agents and assignees are responsible for not increasing the rate of stormwater runoff and will be required, to the extent practicable, to minimize any increase in runoff volume through "retention" and design of multi stage outlet structures.
- 4. The petitioner shall obtain final approval of the Landscape Plan from the Development Services Department.
- 5. The Espresso Kentucky Coffeetree proposed on the landscape plan shall be replaced with a different species of tree.
- 6. The base of the ground sign shall be clad in stone veneer to match the building.
- 7. All permanent and seasonal plantings must be replaced immediately upon decline.
- 8. In accordance with the Village's Commercial Design Guidelines, screens, dormers or other features are required to conceal rooftop mechanical equipment on all sides of the structure if the Development Services Department determines that the parapet walls, as proposed, do not fully screen said equipment.
- 9. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
- 10. No building plans or permits are approved as part of this submittal.
- 11. No sign permits are approved as part of this submittal.

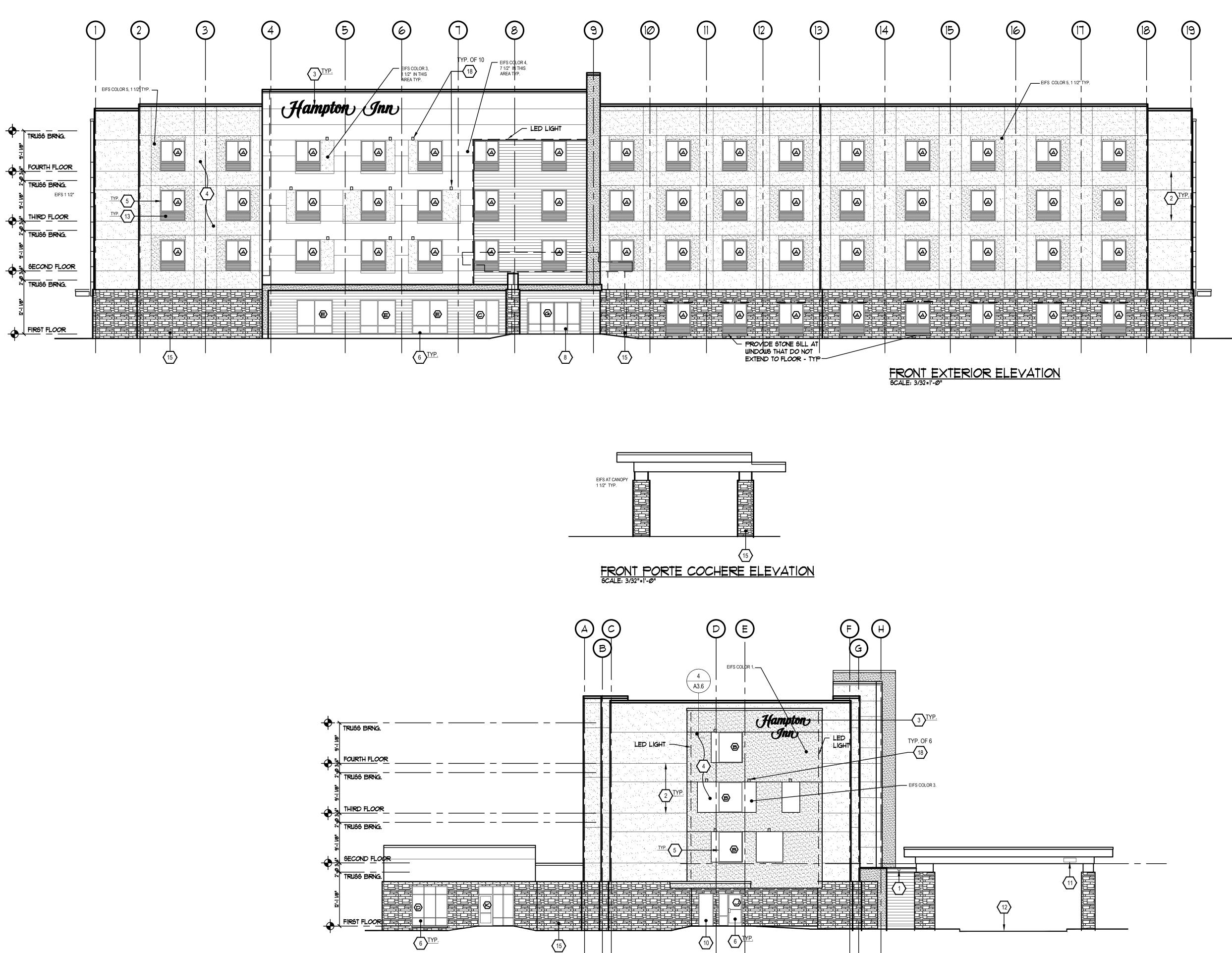
# EXHIBITS

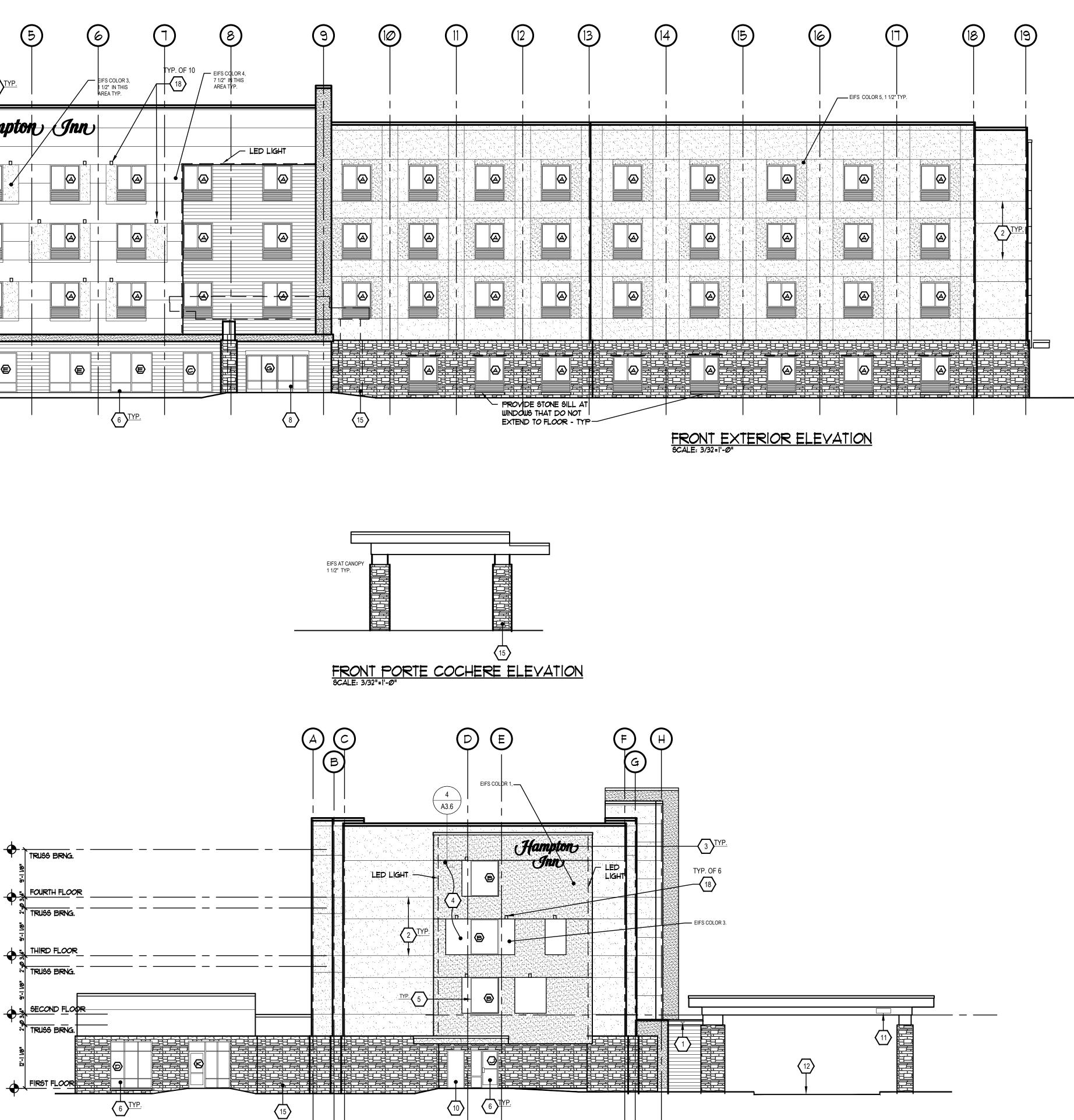
- 1. Color Rendering, not dated
- 2. Final PUD Site Plan, dated 6/24/20
- 3. Building Elevations, dated 5/24/20
- 4. Sign Plan, dated 5/14/20
- 5. Landscape Plan, dated 6/22/20
- 6. Site Improvement Plans, dated 6/24/20
- 7. Turning Exhibit, dated 6/17/20
- 8. Photometric Plan, dated 5/14/20
- 9. Site Lighting Fixture Specifications, not dated
- 10. Plat of Easement, not dated
- 11. Plat of Abrogation, dated 6/24/20



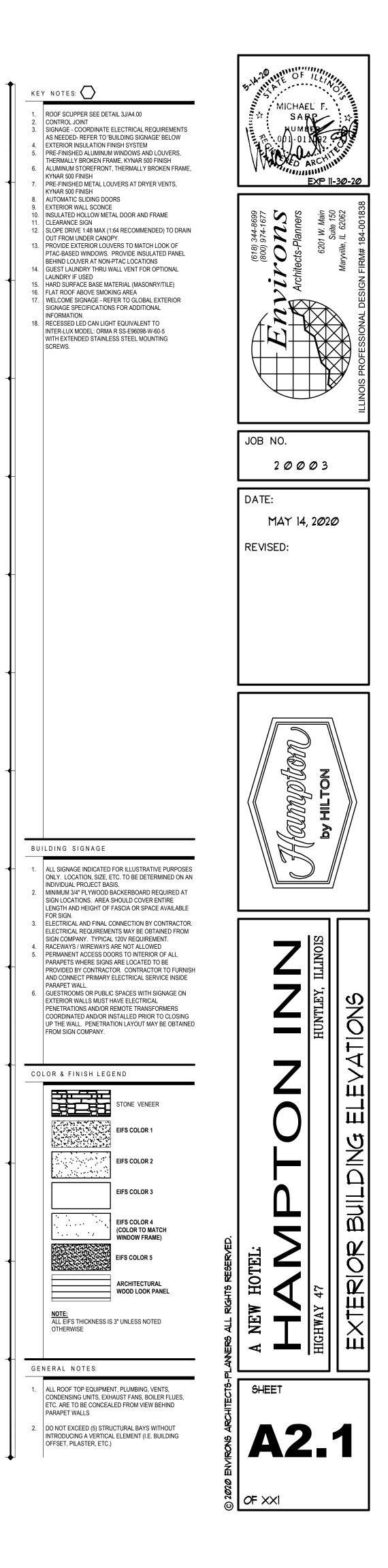


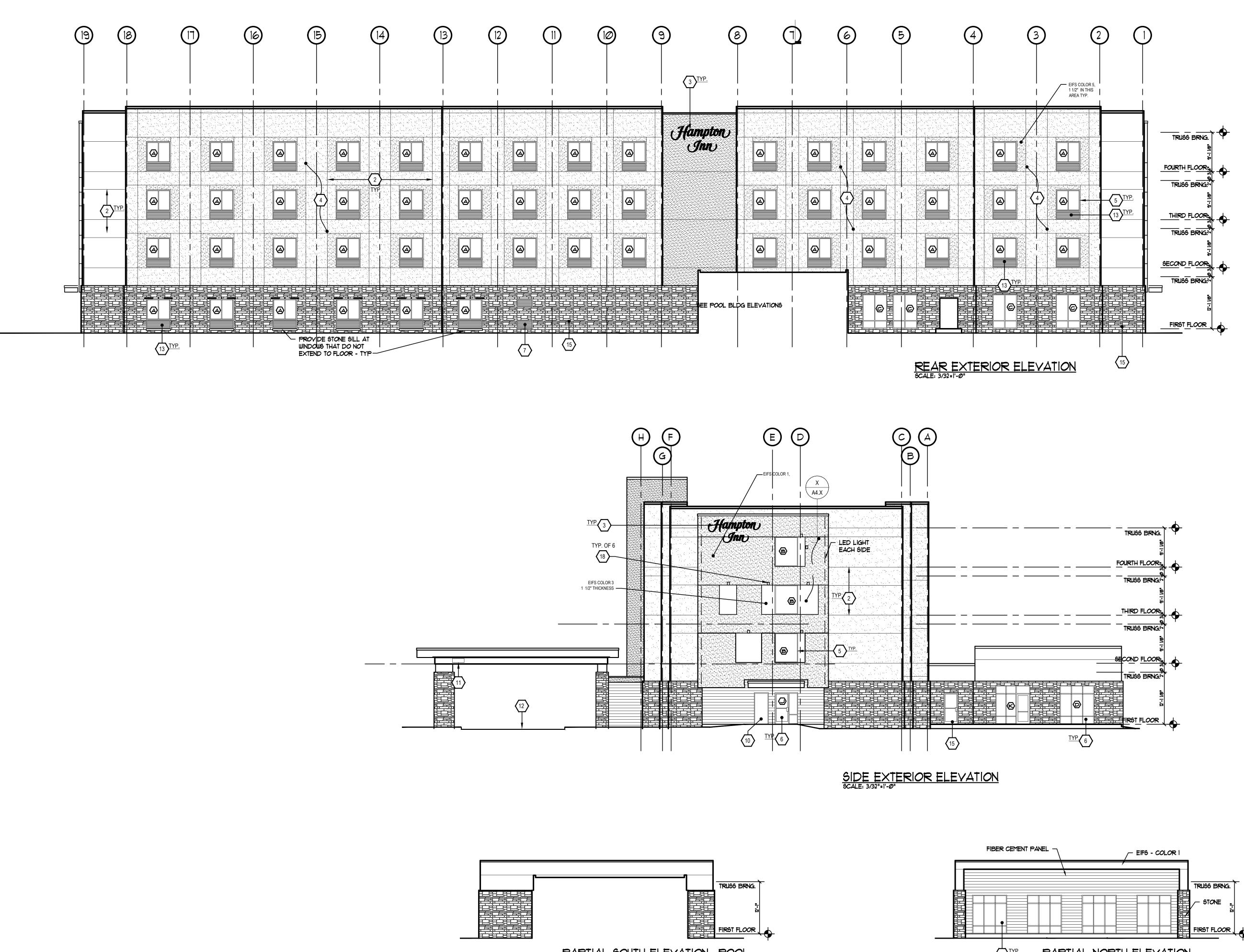
\2020/20-019 Huntley Crossing Hotel\Drawings\Construction Drawings\20-019-HAMPTON INN PLAN REV PLAN 6-17-20, EXHIBIT, Plotted: 6/25/2020 8:04 AM, By: TFiorito, COPYRIGHT 2020 - JOSEPH A. SCHUDT & ASS

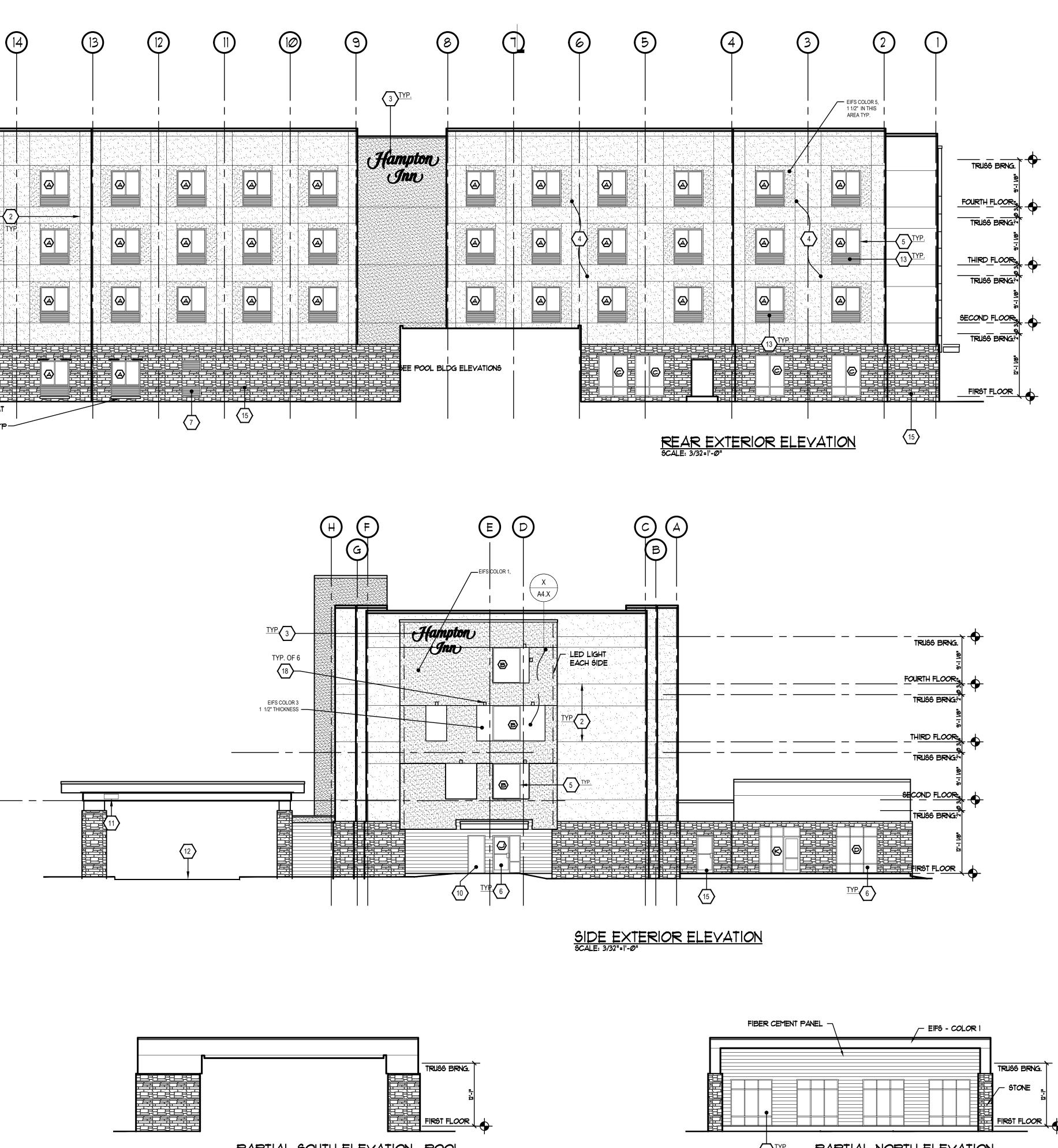




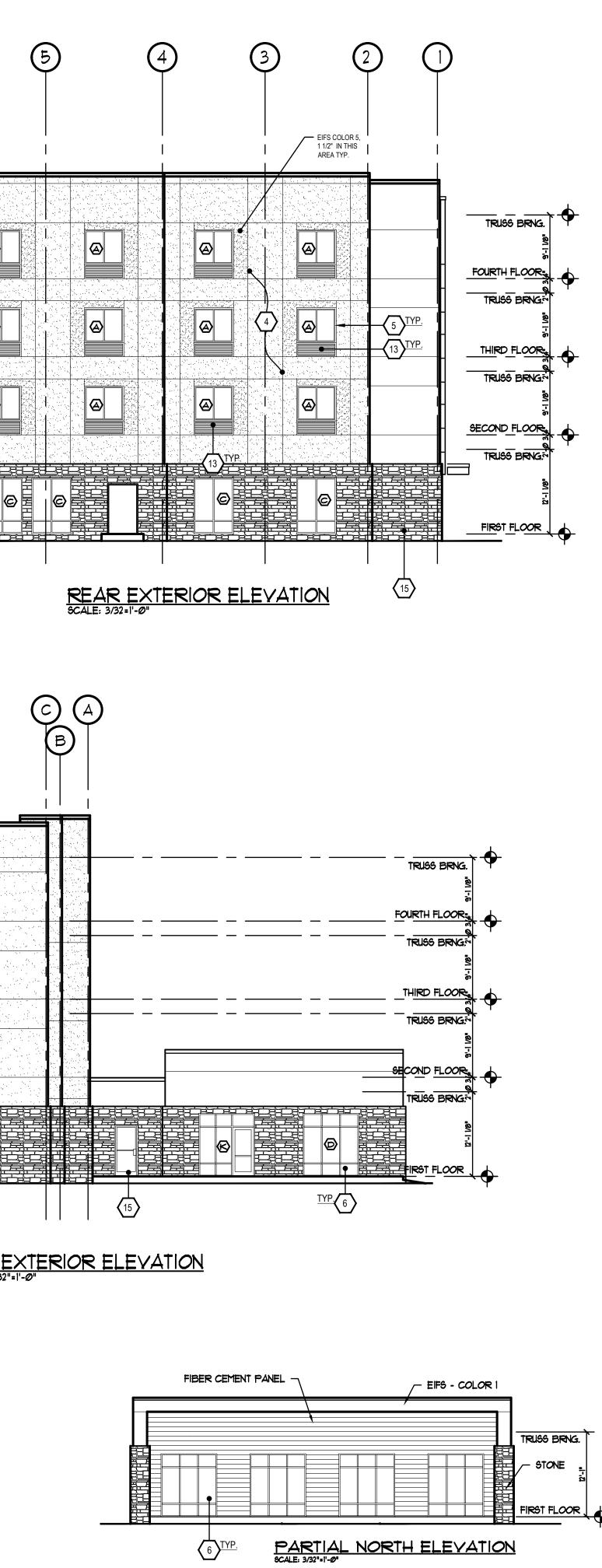
SIDE EXTERIOR ELEVATION SCALE: 3/32"=1'-@"







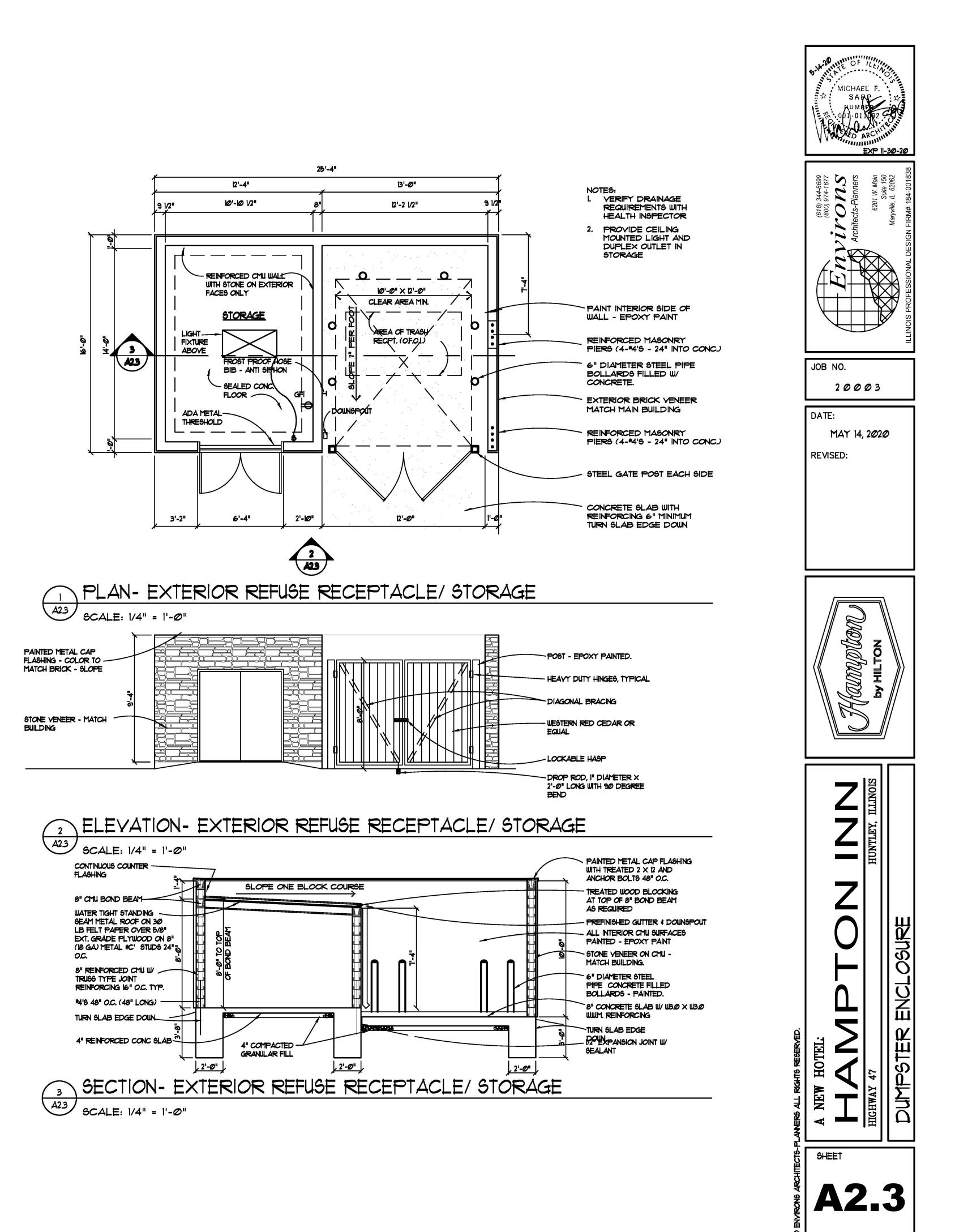




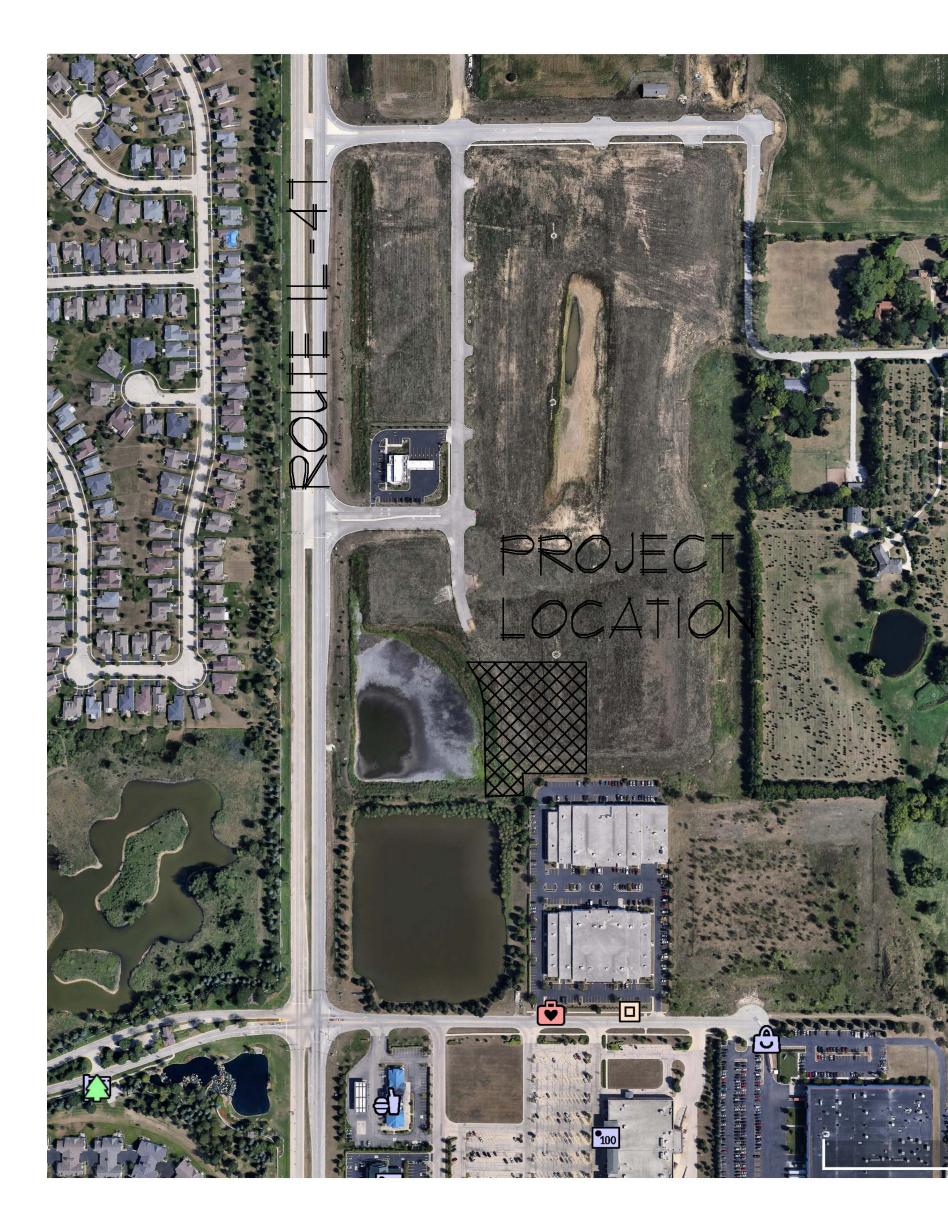
PARTIAL SOUTH ELEVATION- POOL SCALE: 3/32"-1"-0"

KEY NOTES: 🔿 MICHAEL ROOF SCUPPER SEE DETAIL 3J/A4.00 SARP 2. CONTROL JOINT 3. SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED- REFER TO 'BUILDING SIGNAGE' BELOW 4. EXTERIOR INSULATION FINISH SYSTEM 5. PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS, THERMALLY BROKEN FRAME, KYNAR 500 FINISH 6. ALUMINUM STOREFRONT, THERMALLY BROKEN FRAME, KYNAR 500 FINISH EXP 11-30-20 7. PRE-FINISHED METAL LOUVERS AT DRYER VENTS, KYNAR 500 FINISH 8. AUTOMATIC SLIDING DOORS EXTERIOR WALL SCONCE (618) 344-8699 (800) 974-1677 **ODDS** tects-Planners 6201 W. Main Suite 150 Suite 150 Maryville, IL 62062 10. INSULATED HOLLOW METAL DOOR AND FRAME CLEARANCE SIGN
 SLOPE DRIVE 1:48 MAX (1:64 RECOMMENDED) TO DRAIN OUT FROM UNDER CANOPY. 13. PROVIDE EXTERIOR LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS. PROVIDE INSULATED PANEL BEHIND LOUVER AT NON-PTAC LOCATIONS 14. GUEST LAUNDRY THRU WALL VENT FOR OPTIONAL LAUNDRY IF USED Mar And 15. HARD SURFACE BASE MATERIAL (MASONRY/TILE) 16. FLAT ROOF ABOVE SMOKING AREA 17. WELCOME SIGNAGE - REFER TO GLOBAL EXTERIOR SIGNAGE SPECIFICATIONS FOR ADDITIONAL INFORMATION. 18. RECESSED LED CAN LIGHT EQUIVALENT TO INTER-LUX MODEL: ORMA R SS-E96098-W-60-5 WITH EXTENDED STAINLESS STEEL MOUNTING SCREWS. JOB NO. 20003 DATE: MAY 14, 2020 **REVISED:** mpton ð BUILDING SIGNAGE 1. ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN. 3. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT. 4. RACEWAYS / WIREWAYS ARE NOT ALLOWED 5. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL. 6. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON \_\_\_\_ CO | EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.  $\triangleleft$ COLOR & FINISH LEGEND STONE VENEER Ш EIFS COLOR 1 DING EIFS COLOR 2 EIFS COLOR 3 EIFS COLOR 4 . . . . . (COLOR TO MATCH . . . WINDOW FRAME)  $\Omega$ EIFS COLOR 5 HO' ARCHITECTURAL WOOD LOOK PANEL \_\_\_\_\_ Ш NOTE: ALL EIFS THICKNESS IS 3" UNLESS NOTED NE OTHERWISE Ш 4 GENERAL NOTES: SHEET ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT **A2.2** INTRODUCING A VERTICAL ELEMENT (I.E. BUILDING OFFSET, PILASTER, ETC.)

OF XXI

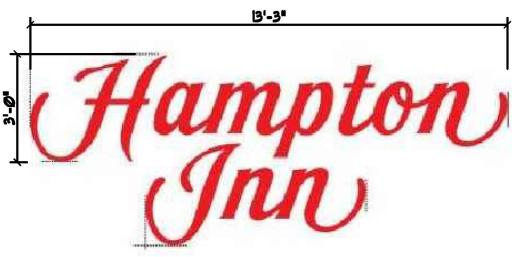


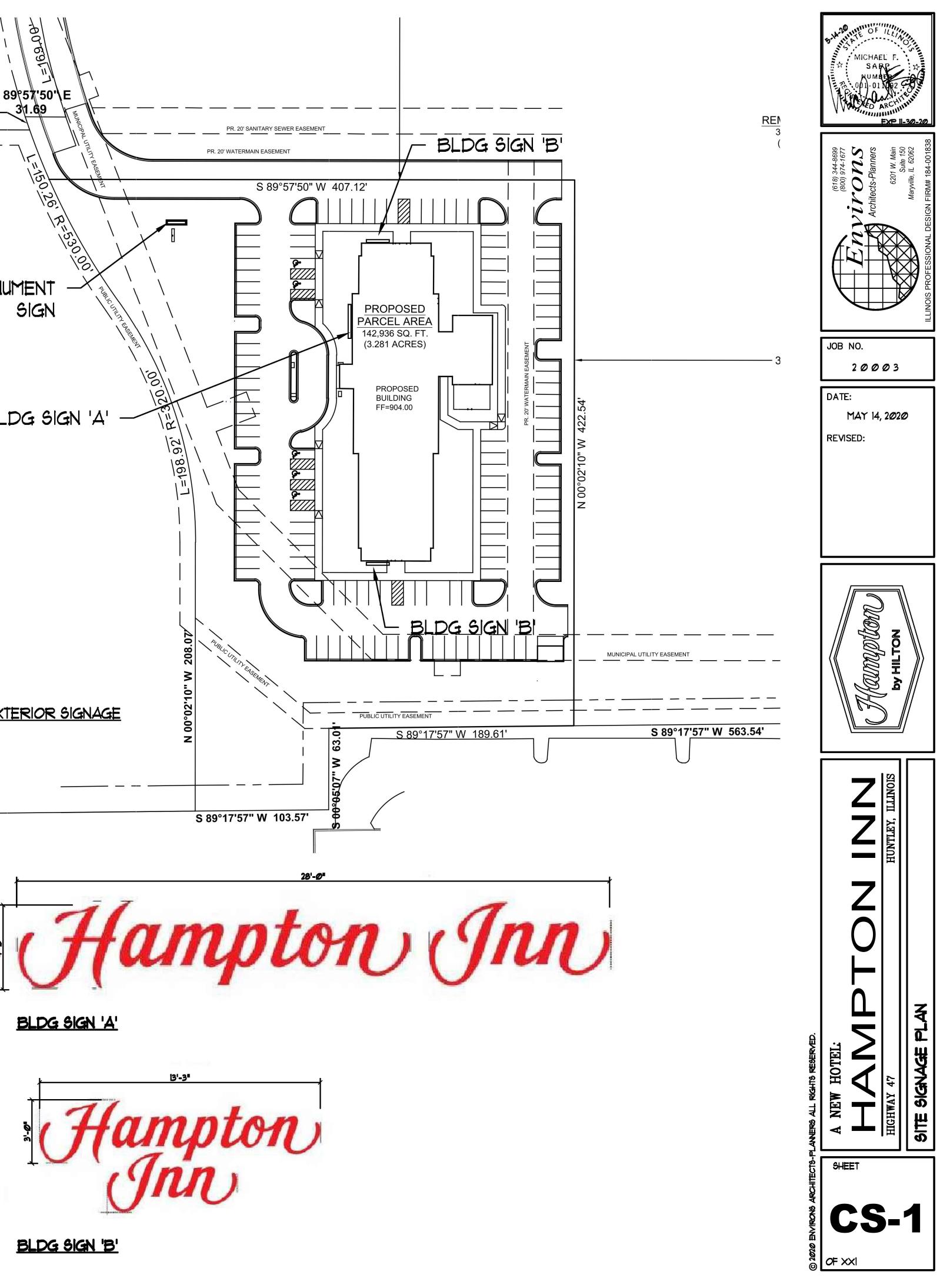
OF XXI













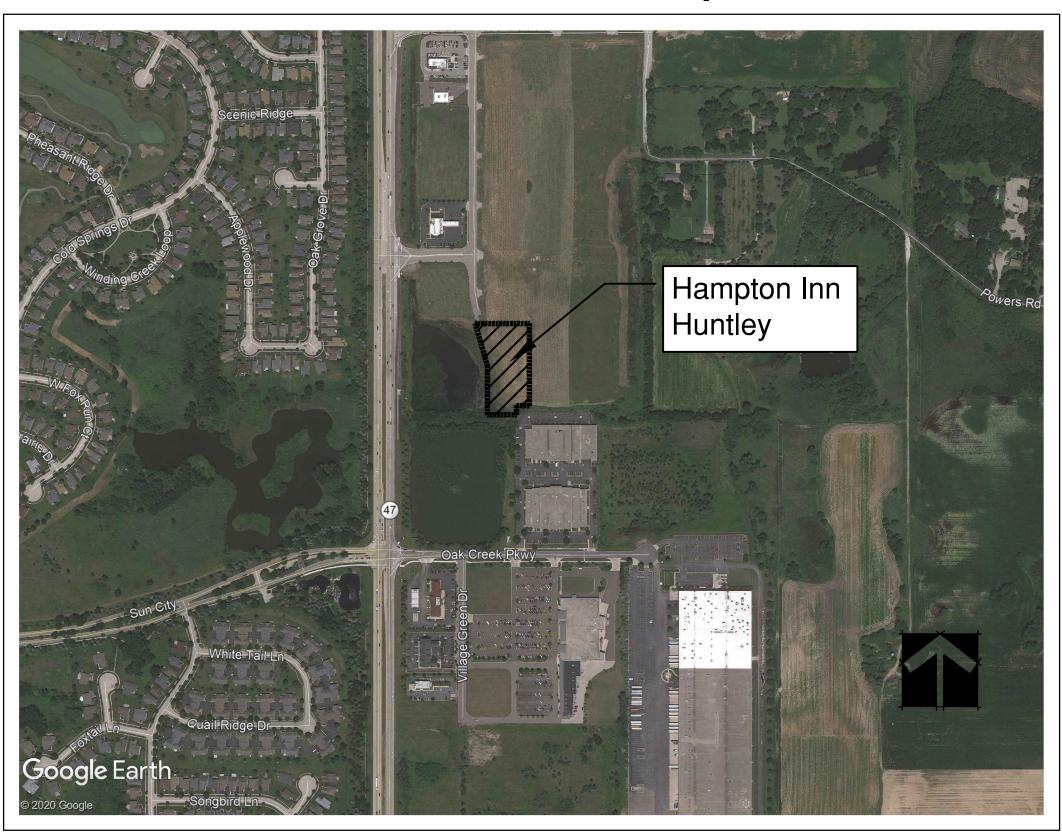
# LANDSCAPE PLAN FOR: HAMPTON INN HUNTLEY **13000 Illinois Route 47** Huntley, IL 60142

Owner: Woodstock Hotel, Inc. 10740 Bull Valley Drive Woodstock, IL 60098 847.471.5100

Engineer: Joseph A. Schudt & Associates 9455 Enterprise Dr. Mokena, IL 60448 708.720.1000

Architect: Envisions Architect/Planners 6201 W. Main, Suite 150 Maryville, IL 62062 618.344.8699

Landscape Architect: Metz & Company 826 E. Maple Street Lombard, IL 60148 630.561.3903



# Site Location Map

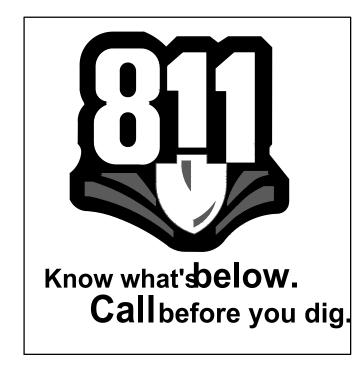
# **SHEET INDEX**

**SHEET** 

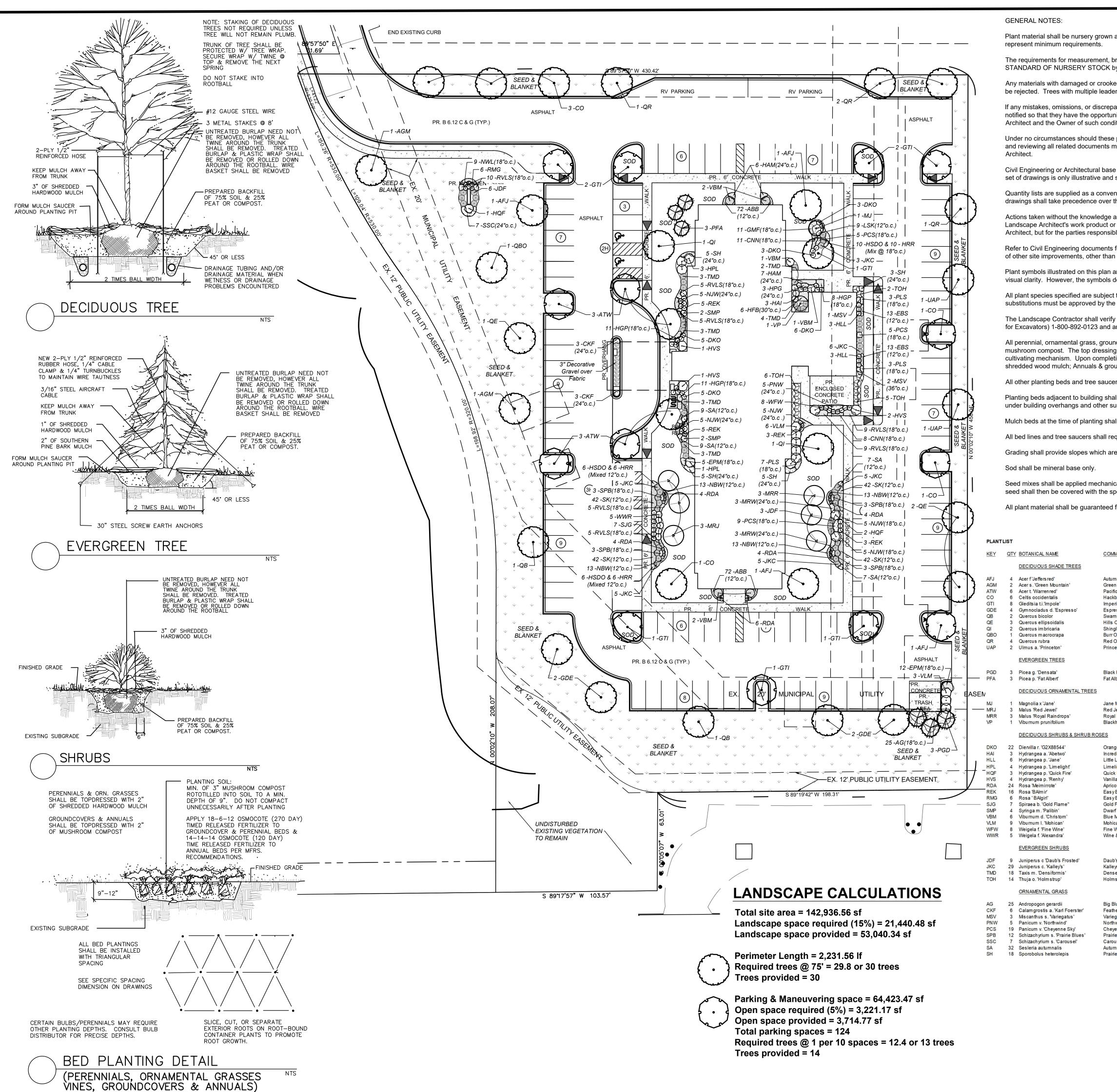
CS-1 L-1 L-2

## DESCRIPTION

**COVER SHEET** LANDSCAPE PLAN LANDSCAPE SPECIFICATIONS



n that may not be to scale	REVISIONS
it is a reproductio	
If this plan is not 24" x 36" in size, then it is a reproduction that may not be to scale	
nbodied herein in any form, in whole or in part, without consent from Metz & Company is prohibited.	HAMPTON INN - HUI 13000 ILLINOIS ROUTI HUNTLEY, ILLINOIS
e concept embodied he	
ained herein are the sole property of Metz & Company. Any reproduction of the design or the concept en	SEAL:
any. Any reproduc	
perty of Metz & Comp	METZ & COMPANY LANDSCAPE ARCHITECTURE/SITE PLANNING
erein are the sole pr	826 East Maple Street Lombard, Illinois 60148 PH: 630.561.3903 Email: metz_landarch@comcast.net
any and all ideas contained h	TITLE COVER SHEET
C Copyright 2020 all rights reserved. The design and any and all ideas cont	PROJECT NO.: 20-133 DATE: <u>6-22-20</u> SCALE: <u>1"=30'</u>
Copyright 2020 all ri	SHEET CS-1



						cale	REVISIONS	
and be either balled a	nd bur-lap	oped or co	ntainer grown. S	Sizes and spr	reads on plant list	ot be to sc	- <u></u>	
pranching and ball size by the American Nurse				of ANSI Z60.	1, AMERICAN	at may no		
	bark abra	sion, suns	cald, insect dam	-	not acceptable and will mp (cl.).	uction that		
	necessary	to resolve	e the issue. Fail	ure to prompt	tly notify the Landscape	a reprodu		
litions shall absolve the plans be used for con mentioned herein, inclu	nstruction	purposes	without examinir	ng actual loca	ations of utilities on site,	e, then it is		
e information has beer should not be relied u				f various site	improvements on this	.36" in size		
nience. However, Bid the lists. Any discrepa						not 24" x		
and consist of the Owr r recommendations, sl ble for the taking of suc	hall becon				on to the Owner and the nd the Landscape	If this plan is		
-	n regardir	ng size, lo	cation, depth and	d type of utilit	ies, as well as locations	Ift		47
are a graphic represen do not necessarily repr	ntation of p	•			•		Z	ЧS
t to availability. Materia e Village, Landscape A	al shortage	es in the la	andscape industr					50
	round util	ities prior t	to digging by call		E." (Joint Utility Location	prohibited.		<b>DZ</b>
oundcovers shall be co	the soil to mental gra vered with	a minimu asses sha n an additi	m depth of nine Il be mulched wi onal two inch (2'	inches (9") by th an additior ') layer of mu	y the use of a nal two inch (2") layer of shroom compost.	& Company is		IS R ILL
ers shall be mulched w all be mulched in their o uch areas which do no	entirety to	the buildi	ng foundation. F		rood mulch. Is shall not be installed	from Metz		N N N N N N
all extend a minimum c				a shrub.		consent	-	
equire a hand spaded e	-				as.	without		
						or in part,		$\circ$
cally so that the seed i pecified blanket (instal for one (1) year from t	led per m	anufacture	er's. specs) or Hy	• •	the seed bed. The	any form, in whole o	Ь К	1300 H
IMON NAME	SIZE/ TYPE		PERENNIALS 19 Calamintha nepe 26 Echinacea x 'Suni		Calamint Big Sky Sunrise Coneflower	#1 #1 #1 poo	<b>₹</b>	
mn Blaze Freeman Maple in Mountain Sugar Maple fic Sunset Purpleblow Maple kberry erial Honeylocust resso KentuckyCoffeetree mp White Oak Oak gle Oak Oak Oak oak ceton Elm	3.0" BB 3.0" BB	GMF HRR HSDO HGP HAM HFB HPG LSK MRW NBW NJW NWL PLS	<ul> <li>Echinacea x. 'CBC</li> <li>Geranium s. 'Max</li> <li>Hemerocallis 'Ro</li> <li>Hemerocallis 'Ste</li> <li>Heuchera 'Georgi</li> <li>Hosta 'August Mo</li> <li>Hosta 'Fragrant B</li> <li>Hosta 'Paradigm'</li> <li>Liatris s. 'Kobold'</li> <li>Monarda d. 'Rasp</li> <li>Nepeta f. 'Novane</li> <li>Nepeta f. 'Novane</li> <li>Perovskia a. 'Little</li> <li>Rudbeckia h. 'Vief</li> </ul>	Frie' sy Returns' Ila-de-Oro' a Peach' on' ouquet' berry Wine' onder' pjun' s Low' e Spire' tte's Little Suzy'	Pixie Meadowbrite Coneflower Max Frie Geranium Rosy Returns Daylily Stella-de-Oro Daylily Georgia Peach Alumroot August Moon Hosta Fragrant Bouquet Hosta Paradigm Hosta Kobold Gayfeather Raspberry Wine Beebalm Blue Wonder Catmint Junior Walker Catmint Walker's Low Catmint Little Spire Russian Sage Little Suzy Black-eyed Susan	#1     #1       #1     #1       #1     1       #1<	SEAL:	
k Hills Spruce Nbert Colorado Spruce	6' BB 6' BB	ABB	6 Ajuga r. 'Bronze B 7 Sedum kamtscha	eauty'		rom 24 flat opport		
: Magnolia Jewel Crabapple Jean Raindanas Crabapple	6' BBcl. 2.0" BB		& LABOR LIST:		DESCRIPTION	<u>e</u>		
al Raindrops Crabapple khaw Viburnum (tree form)	2.0" BB 6' BBcl.	105 S 4,912 S		-	Fabric (3" Depth ) Kentucky Bluegrass Blend w/Peren S75 by North American Green (or ec			
ge Kodiak Diervilla diball Hydrangea Lime Hydrangea elight Hydrangea k Fire Hydrangea lla Strawberry Hydrangea tot Drift Rose / Elegance Kashmir Rose / Elegance My Girl Flame Spirea rf Korean Lilac Muffin Arrowwood Viburnum can Vibumum Wine Weigela e & Roses Weigela	18"#3 24"#5 24"#5 30"#5 30"#5 30"#5 18"#3 18"#3 18"#3 18"#3 18"#3 18"#5 30"#5 30"#5 24"#5	1,412 S 48 C 17 C	Y Mulch		Kentucky Bluegrass Blend (mineral Shredded Hardwood Bark Compost (Yard Waste or Mushroom	LO LO	826 East Maple Lombard, Illino PH: 630.561.33	is 60148
b's Frosted Juniper eys Compact Juniper se Yew nstrup Arborvitae	24"#5 24"#5 24"#5 4' BB	•		-(	H	contained her	TITLE	DSCAPE
Bluestem her Reed Grass egated Silver Grass hwind Switch Grass yenne SKy Switch Grass rie Blues Little Bluestem busel Little Bluestem mn Moor Grass rie Dropseed	#1 #1 #1 #1 #1 #1 #1	•			NOR	design and any and all ideas		V D.:
				0' 15	5' 30' 60'	all rights reserved. The	DATE: SCALE:	0-133 <u>6-22-20</u> 1"=30'
					w what'sbelow. Callbefore you dig.	c) Copyright 2020		L-1

## PLANT MATERIAL

## PART 1 - GENERAL

## 1.1 SCOPE OF WORK

The work includes furnishing of all materials, and the performance of all operation in connection with the planting of deciduous & evergreen trees, deciduous & evergreen shrubs, shrub roses, perennials, ornamental grasses, groundcovers, bulbs (if any) and annual flowers (if any) in strict conformance with the project specifications and applicable drawings which are subject to the terms and conditions of the Contract.

## 1.2 GENERAL REQUIREMENTS

All plant material shall comply with the State of ILLINOIS and FEDERAL laws with respect to inspection for plant diseases and insect infestation. An inspection certificate required by law to this effect shall accompany each shipment. The Landscape Architect reserves the right to inspect the plant material at the place of growth but such inspection shall not preclude the right of rejection at the site.

## 1.3 APPLICABLE STANDARDS

- American National Standards for Tree Care Operations, ANSI A300, American National Standards Institute, 11 West 42nd Street, New York, N.Y. 10036. American Standard for Nursery Stock, ANSI Z60.1, American Nursery & Landscape Association, 1000 Vermont Avenue NW, Suite 300, Washington, D.C. 20005.
- Hortus Third, The Staff of the L.J. Bailey Hortorium, 1976, MacMillan Publishing Co., New York.
- D. All standards shall include the latest additions and amendments as of the dated of advertisement for bids.

## 2.1 GENERAL

PART 2 - MATERIALS

The Landscape Architect reserves the right to tag or inspect plants at the nursery but such inspection shall not preclude the right of rejection at the site. Contractor shall furnish and install all plants as shown on the drawing and in the quantities as actually designated on the drawings. The quantities shown on the plant list are included for convenience purposes only.

## 2.2 NOMENCLATURE

The names of the plants indicated on the drawings conform generally with those accepted in the nursery trade.

## 2.3 QUALITY AND SIZE

Plants shall have a habit of growth that is normal for the species and shall be sound, healthy, vigorous, and free from insect pests, their eggs or larvae, plant diseases, and injuries. All plants shall be nursery grown under climatic conditions similar to those which exist in the locality of the site for at least two (2) years and equal or exceed the measurements specified in the plant list. They shall be measured before pruning with branches in formal position. All necessary pruning shall be performed only at the time of planting. Trees will not be accepted which have their leaders cut or which have their leaders damaged so that cutting is necessary. Plants larger in size than specified may be used with the approval of the Landscape Architect but the use of larger plants will make no change in the contract price. Requirements for the measurement, branching, guality, balling, and burlapping of plants on the plant list shall follow the Code of Standards (Z60.1-most current edition) by the AMERICAN NURSERY & LANDSCAPE ASSOCIATION, formerly known as the AMERICAN ASSOCIATION OF NURSERYMEN, INC. All plant material with shriveled dry roots or which does not comply with the specifications will be rejected. All shrubs shall be at least twice transplanted and must have a fully developed fibrous root system typical of the stated species. All shrubs must be freshly dug immediately before shipping unless they are containerized. Pre-dug, healed-in plants may be considered only in special cases involving planting during the hot months between the spring and fall planting seasons. Use of such material will be allowed only upon the approval of the Landscape Architect and is subject to his inspection prior to said approval.

## 2.4 DELIVERIES

The Contractor shall take all precautions that are demanded by good trade practice to insure arrival of the plant material at the stated delivery point in good condition and without injury of any nature. Plants shall be covered properly to prevent drying, transit disease, or injury.

## 2.5 TEMPORARY STORAGE

Insofar as it is possible, plant material shall be planted on the day of delivery. In the event this is not possible, the Contractor shall protect the unplanted stock from sun and drying winds at all times. All balled and burlapped plants shall be shaded from the sun, have their ball set off the ground and healed in with sawdust, peat, soil or other moisture-holding material and shall be kept moist. Plants should not remain unplanted for longer than three (3) days if in leaf. On-site storage shall be only in area(s) designated by the Owner.

## 2.6 SUBSTITUTIONS

Substitutions may be permitted only upon submission of written proof that the specified plant is not obtainable locally. Such substitution may be made only upon authorization by the Landscape Architect.

## 7 SELECTION

All plants shall be obtained from nurseries licensed by the State of Illinois and approved by the Landscape Architect. The Landscape Architect reserves the right to accompany the Contractor to the nurseries for the purpose of selecting (tagging) material. Plant sources located outside the State of Illinois must be approved by the Landscape Architect.

## 2.8 TOPSOIL

Topsoil for required filling and spreading shall be obtained from on-site stock pile(s) generated from site stripping. In the event that the quantity of stock piled topsoil is insufficient then topsoil shall be imported from an off-site source. All imported topsoil, used for any portion of the work, shall be fertile, friable, natural loam containing a liberal amount of humus. It shall be relatively free from weeds, large roots, plants, sticks, stones larger than one (1) inch, waste, debris or other extraneous matter. The installing Contractor shall be responsible for rock picking and/or debris removal as needed to meet this specification.

## The soil, to be acceptable topsoil, shall meet the following criteria:

ORGANIC MATTER: Not less than 1.5 percent no more than 10.0 percent. pH: No lower than 5.0 nor higher than 8.0.

## TEXTURE: No more than 25 percent clay.

SOLUBLE SALT: No more than 1000 ppm CHEMICAL ACTIVITY: The topsoil (on-site & imported) shall be free from any toxins or chemical residue which could result in any form of plant growth

The Contractor shall provide a soil analysis report submittal containing test results and soil scientist recommendations based on a minimum of one (1) sample taken from each proposed imported topsoil stock pile. The testing shall cover macro nutrients and pH, soluble salts, organic content/mechanical analysis and Bio assay.

#### 2.9 MULCH

Mulch shall consist of the following

## MUSHROOM COMPOST

- Mushroom compost shall be composed of well-rotted cattle or stable manure with an admixture of 15-30% topsoil and shall have been used for the commercial growing of at least one (1) crop of mushrooms
- SHREDDED HARDWOOD BARK (general mulching)
- Shredded hardwood bark shall consist of finely shredded hardwood bark, free of sticks and leaves. SOUTHERN PINE BARK (conifer mulching)
- Pine bark shall be horticultural-grade milled pine bark with 80% by volume sized between 0.1 and 15.0 mm. Pine bark shall be composted sufficiently to breakdown all woody materials and shall be screened. The pH range shall be between 4.0 and 7.0.

#### 2.10 FERTILIZER & NUTRIENTS

Fertilizer shall be commercial fertilizer which shall be a complete fertilizer with the following approximate analysis:

## A. Shrubs

- Woodace (14-3-3) slow-release briquettes or acceptable equivalent approved by Landscape Architect.
- Roses 1. Woodace (14-3-3) slow-release briquettes
- 2. Superthrive liquid or acceptable equivalent approved by Landscape Architect. Perennials, Groundcovers, Ornamental Grasses & Vines
- Osmocote (18-6-12) 8-9 month controlled release, or acceptable equivalent approved by the Landscape Architect.
- Annual Flowers Osmocote (14-14-14) 3-4 month controlled release or acceptable equivalent approved by the Landscape Architect.
- Bulbs
- Holland Bulb Booster (9-9-6) or acceptable equivalent approved by the Landscape Architect.
- Deciduous & Evergreen Trees No fertilizer required

## 2.11 TREE WRAPPING MATERIAL

- Wrap shall be Breathable synthetic fabric tree wrap. White in color, delivered in 75 mm (3 in.) wide rolls. Specifically manufactured for tree wrapping. Tree wrap shall be "Breathable Fabric Tree Wrap" as manufactured by the Dewitt Company, Inc., Sikeston, MO, or approved equal. Submit
- manufacture literature for approval Tape for securing the wrap shall be bio-degradable tape suitable for nursery use and which is expected to degrade in sunlight in less than two (2) years after installation.

## 2.12 WATER

Potable water shall be supplied by the Owner at no cost to the Contractor by way of an irrigation system, quick coupler system, hose bibs, hydrant meter or a designated fill-up source on site.

## PART 3 - EXECUTION

soil is to temporarily stocked. The Contractor shall be responsible for the restoration of all damaged existing turf. All restoration shall be sodded.

## 3.11 WATERING

bags are encouraged (e.g., gatorbags). All additional waterings will be performed by the Owner or in accordance with a Change Order per the Supplemental Bid prices for additional watering.

## 3.12 MAINTENANCE

- Maintenance shall be performed by the Contractor as follows:
- A TEMPORARY MAINTENANCE The Contractor shall be responsible for the total maintenance of all plant material until such a date as all landscape operations have received solely with the Owner, with the following exceptions.

## B. CONTINUED MAINTENANCE

to occasionally inspect the quality of the Owner's maintenance.

## 3.1 ACCEPTANCE

- A PRELIMINARY PLANTING ACCEPTANCE
- for an area to be accepted on a preliminary basis, it shall conform to the following: 1. All plant material shall be in conformance with the Drawings with respect to quality, size, species and location, except those items accepted or revised in the field by the Landscape Architect.

## FINAL PLANTING ACCEPTANCE

Final planting acceptance shall be granted after the completion of all replacement operations required fulfilling the guarantee stated below. Contractor shall be notified in writing of his final acceptance of work.

## GUARANTEE

The Contractor shall guarantee for a period of one (1) year the replacement of any permanent plant which has died, or is in a dying condition, or which has failed to flourish in such a manner that its usefulness or appearance has been impaired. Any tree with a dead main leader or with a crown which is twenty-five percent (25%) or more dead shall be replaced These guarantees shall be in accordance with the following:

## ONE YEAR PERIOD

- The one (1) year period shall begin on the date of Preliminary Acceptance of all plant material. REPLACEMENTS & DAMAGES The decisions of the Owner and/or Owner's Representative for required replacements shall be conclusive and binding upon the Contractor. The
- EXCLUSIONS

## vandalism or by terrorism. GUARANTEE PERIOD INSPECTION

such methods or practices or operations

All plants shall receive a thorough watering immediately after installation. During times of extreme heat, all evergreen and deciduous trees shall receive a minimum of 10 gallons of water per tree per watering up to two (2) additional waterings shall be performed as needed. The use of drip irrigation tree

Preliminary Acceptance. Temporary maintenance shall begin immediately after each plant is installed and shall include up to three (3) waterings, and all necessary cultivation, weeding, pruning, disease and insect pest control, protective spraying, resetting of plants to proper grades or upright position, restoration of damaged planting saucers, and any other procedure consistence with good horticultural practice necessary to insure normal, vigorous, and healthy growth of all work under this Contract. Upon the Preliminary Acceptance of all planted areas, the responsibility for plant maintenance rests

For the duration of the guarantee period the Contractor shall be responsible for the resetting of settled plants, the straightening of plants which are not plumb and the tightening of tree guys (if utilized). All other maintenance is the responsibility of the Owner. However, it is the Contractor's responsibility

Preliminary planting acceptance shall be given for completed planting operations for the purpose of the Contractor becoming eligible for payment for this portion of the Contract work. In order to obtain Preliminary Acceptance, the Contractor shall notify the Owner and/or Owner's Representative by phone or in writing at the conclusion of all planting operations so that preliminary acceptability by way of a field inspection can be performed. In order

2. All plant material shall be in a healthy condition, as defined under the guarantee requirements stated below in Section 3.14

On or about the expiration of the one-year (1 year) guarantee, a follow-up inspection will be made by the Owners and/or Owner's Representative to determine replacements required to be made by the Contractor in accordance with the provisions of these specifications. The inspector will document his/her findings in a field report. Upon completion of the replacement program, the Owner and/or Owner's Representative shall conduct an inspection to determine the acceptability of the required replacements. If all is found to be acceptable as defined by Item A above, the Contractor and the General

Contractor shall also be responsible for repairing damage to persons and property also caused by defective workmanship and materials.

The Contractor shall not be liable for the replacement of plants which were damaged by animals, by deicing compounds, fertilizers, pesticides or other materials not specified by the Contract documents or not applied by him under his supervision, by relocating or removal by others, by Acts of God, by

During the guarantee period, the Contractor shall, from time to time, inspect the watering, cultivation, and other maintenance operations carried on by the Owner with respect to such work, and promptly report to the Owner any methods, practices or operations which he considers unsatisfactory, and not in accord with his interests or good horticultural practices. The failure of the Contractor to so inspect or report shall be construed as an acceptance by him of the Owner's maintenance operations, and he shall not thereafter claim or assert that any defects which may later develop are the result of

TURF GRASS <u> PART 3 - E</u> PART 1 - GENERAL 3.1 SE 1.1 SCOPE OF WORK PLAN The work includes finish grading, furnishing fertilizer, seed and/or sod as specified and performance of all operations in connection with seeding and/or sodding in strict accordance with the applicable Drawings and subject to the terms and conditions of the Contract. Tu \* or 1.2 EQUIPMENT eed shall be completed after The Contractor shall provide and maintain equipment suitable for the execution and completion of the work specified in accordance with (IDOT) Standard all trees and shrubs have been installed, if any. Specifications. All equipment shall be operated by personnel trained in the operation of such equipment. 3.2 SOD - The accepted seasons for laying sod shall be as follows: PART 2 - PRODUCTS 1. SPRING SODDING shall be performed from the time the soil becomes workable and unfrozen sod becomes available to June 15. 2.1 TOPSOIL 2. FALL SODDING shall be performed from August 15 to October 31. Topsoil for planting operations shall be obtained from an on-site stockpile generated from site stripping. In the event that none is available, needed Sodding during the summer season, defined as June 16 to August 14, will be acceptable if the area is served by an operational irrigation system. topsoil shall be imported from an off-site source. All imported topsoil, used for any portion of the work, shall be fertile, friable, natural loam containing a Sodding after November 1 shall be considered unseasonable and will require the approval of the Landscape Architect or Owner. liberal amount of humus. It shall be relatively free from weeds, large roots, plants, sticks, stones larger than one (1) inch, waste, debris or other extraneous matter. The installing Contractor shall be responsible for rock picking and/or debris removal as needed to meet this specification. 3.3 REQUIRED MAINTENANCE The soil, to be acceptable topsoil, shall meet the following criteria: The Contractor shall be responsible for maintaining all newly seeded and sodded areas until such a time as these areas are granted acceptance by the Owner and/or Landscape Architect. Maintenance during this time period shall and consist of watering, mowing, fertilization and herbicide 1. ORGANIC MATTER: Not less than 1.5 percent no more than 10.0 percent. application, as well as any other horticultural practices necessary to establish an acceptable stand of grass. 2. pH: No lower than 5.0 nor higher than 8.0. 3. TEXTURE: No more than 25 percent clay. A. WATERING 4. SOLUBLE SALT: No more than 1000 ppm. 5. CHEMICAL ACTIVITY: The topsoil (on-site & imported) shall be free from any toxins or chemical residue which could result in any form of plant

growth damage. The Contractor shall provide a soil analysis report submittal containing test results and soil scientist recommendations based on a minimum of one (1)

2.2 COMMERCIAL FERTILIZER AND DELIVERY

analysis and Bio assay.

A. FERTILIZER STRENGTH

Fertilizer shall be delivered to the site in unopened, original containers, each bearing name and address of the manufacturer, name brand, or trademark and manufacturer's guaranteed analysis. Any fertilizer which becomes caked or otherwise damaged, making it unsuitable to use, will not be accepted. Fertilizer shall not have been exposed to weather prior to delivery on the site and after delivery until used. It shall be completely protected at all times If the Owner supplies an in-ground irrigation system included in the scope of these improvements, the Contractor shall be responsible for monitoring the and shall not be stored in direct contact with the ground.

#### The fertilizer shall be a complete fertilizer containing a minimum basis percentage by weight of the following: 1. PRIOR TO SEEDING AND/OR SODDING 6-24-24 Nitrogen..... 6% Phosphorous...... 24% Potash .... 2. AFTER SEEDING AND/OR SODDING 18-5-9 Nitrogen..... 18% Phosphorous...... 5% Potash... .. 9% a) One-quarter of the nitrogen shall be in the form of nitrates, one-quarter in the form of ammonia salts, and one-half in the form of organic nitrogen.

b) Available phosphoric acid shall be derived from super-phosphate having a minimum guaranteed analysis of 20% of available phosphate. c) The potash shall be in the form of sulphate of potash. The balance of the fertilizer shall be made up of materials usually present in such a product. It shall be free from dust, sticks, sand, stone, or other

2.3 GRASS SEED (if specified)

Grass seed shall be reclaimed seed of the previous season's seed crops. All seed shall meet requirements established by the State and Federal Seed and Weed Controls Laws. The grass seed mixture shall be composed of the following grass seeds mixed in proportions by weight and shall meet or D. HERBICIDE exceed the minimum percentages of purity and germination as indicated

PROPORTION BY WEIGHT TYPE OF GRASS

1. CONVENTIONAL TURF GRASS MIX (if specified)

60%	KENTUCKY BLUEGRASS (blend of 3 cultivars)	
30%	PERENNIAL RYEGRASS (blend of 2 cultivars)	
10%	CREEPING RED FESCUE	
(Apply a	7 lbs./1,000 S.F. for mechanical seeding)	
SALT TOLERANT MIX (if	specified)	
40%	'FULTS' ALKALI GRASS (PUCCINELLIA DISTANS)	
(	. ,	

CREEPING RED FESCUE 30% ... KENTUCKY BLUEGRASS

shall weigh a minimum of 28 pounds to the nearest measured bushel. Weed seed content shall not exceed 0.25%.

. PERENNIAL RYEGRASS 10% ..... (Apply at 5 lbs./1,000 S.F. for mechanical seeding) The percentage of hard seed included as a part of the germination percentage of any lot of seed, shall not exceed twenty. Kentucky bluegrass seed

3. PACKING AND MARKETING

All seeds shall be delivered in suitable bags in accordance with standard commercial practice. Each bag shall be tagged or labeled as required by the law of the STATE OF ILLINOIS. The vendor's name shall show on or be attached to each bag together with a statement signed by the vendor showing: a) the kind of seed contained, b) the percentage of purity and germination, c) the percentage of hard seed, if any, d) a statement conforming to the laws of the STATE OF ILLINOIS hereinbefore mentioned showing percentage of weed seeds, if any. Seed which has become wet, moldy, or otherwise damaged will be rejected.

2.4 EROSION CONTROL BLANKET

1. STRAW BLANKET (if specified)

a. S-75 Straw Blanket (North American Green)

- b. AEC Premier Straw Blanket (American Excelsior Company)
- c. or equivalent 2. STRAW/COCONUT BLANKET (if specified)

a. SC-150 Straw/Coconut Blanket (North American Green)

b. AEC Premier Straw/Coconut Blanket (American Excelsior Company)

c. or equivalent

2.5 HYDROMULCH (if specified) SoilCover Hydraulic Wood Mulch by Profile distributed by ERO-TEX (866)437-6839

## 2.6 SOD (if specified)

Sod shall comply with State and Federal laws with respect to inspection for plant diseases and insect infestation. It shall be fresh cut, live, nursery grown sod, not less than one and one half (1 1/2) inches thick having well-matted roots. The root zone shall be of good, fertile, natural mineral soil free from stones and debris. Peat sod will not be acceptable. The turf shall contain no bent or quack grass nor any other noxious weed growth. It shall be of firm tough texture having a compact growth of grass. The sod sections shall be standard in size (24 inches wide x 3 feet in length) and each section shall be strong enough to support its own weight and retain its size and shape when suspended vertically from a firm grasp on the upper ten (10%) percent of the section

Before being cut and lifted, the sod shall have been mowed at least twice with a lawn mower and the final mowing not more than seven days before the sod is cut. Sod which is not placed within 48 hours of cutting shall not be used without the approval of the Owner and/or Landscape Architect.

The Owner and/or Landscape Architect, reserves the right to inspect the sod at the source before cutting and areas that fail to meet with his approval shall not be cut for the purpose of supplying material under the contract. The Owner and/or Landscape Architect shall be permitted to take such samples as he may select. All sod shall be fresh and green when placed. Any sod that is dried out, burned, inferior in quality to said samples, or in any way failing to meet the requirements of these specifications will be rejected and the Contractor shall immediately remove such rejected material from the premises of the project and supply suitable material in its place.

- 1. BLUEGRASS SOD shall be a blend of at least three (3) cultivars of Kentucky bluegrass grown on a mineral base.
- 2. SALT SOD (if specified) shall be a blend of Kentucky Bluegrass, 'Fults' Alkalie Grass (Puccinellia Distans), Perennial Ryegrass and other types as approved by the Landscape Architect grown on a mineral base.
- 2.7 WATER

The Owner shall provide at no cost, sufficient water for the Contractor to maintain plant materials and seeded and sodded areas in accordance with the requirements of the applicable technical specifications. Potable water shall be supplied by the Owner by way of a permanent underground irrigation system, quick coupler system, hose bibs, fire hydrants or a designated fill-up source for mobile tanks. When water is provided by way of fire hydrants, it shall be the Contractor's responsibility to be completely familiar with all local ordinances concerning the use of this water source. If a meter is required, it is the Contractor's responsibility to obtain, store and return the meter. All fees incurred by the Contractor in obtaining the meter and utilizing the water supply will be reimbursed to him by the Owner.

In the event that the on-site water supply is curtailed or terminated by the Owner or by ordinance during the period the Contract is in effect, or that there is no on-site sources of water, the Contractor shall supply water from off-site in sufficient quantities to complete the job. Compensation for this additional item will be in accordance with a solicited price quote. If authorization to supply off-site water is not given to the Contractor by the Owner, when the Owner is unable to supply the water in sufficient quantities, the Contractor shall not be left responsible for damage to new plantings (plant materials & sod) or failure of seed to germinate and grow caused a direct result of an inadequate water supply.

EXECUTION			
EED - The accepted seas	ons for sowing seed in lawn	areas shall be defined as follows:	
ANTING SEASONS	SPRING	FALL	
urf grass r as soon as the soil is fre	April 1 * to May 31 e of frost and in a workable c	5 1 1	
eding during other time pe	eriods shall require the appro	val of the Owner and/or Landscap	e Architect. All sowing of see

1. The Contractor shall water all newly **seeded** areas once immediately upon completion. Additional watering shall be performed as needed in the absence of adequate rainfall. All water should be applied as a spray or dispersion to prevent run-off or damage. The Contractor shall be responsible for watering until turf is established and accepted. If the Owner supplies an in-ground irrigation system, the Contractor shall be responsible for monitoring the sample taken from each proposed imported topsoil stock pile. The testing shall cover macro nutrients and pH, soluble salts, organic content/mechanical effectiveness of the system and shall report any problems with the system to the Owner immediately, followed up in writing. If the Owner does not provide an irrigation system, then additional watering shall be performed in accordance with the Supplemental Bids where alternate watering prices shall be quoted. If this work item is not included as part of the original Contract, it must be authorized. Compensation shall be in accordance with the Supplemental Bid Prices. If the Owner fails to supply water or authorize supplemental watering the Contractor's warranty for providing an established stand of turf will be voided.

> 2. The Contractor shall water all newly installed sod immediately. The Contractor shall remain responsible for watering through three (3) applications. effectiveness of the system and shall report any problems with the system to the Owner immediately, followed up in writing. If the Owner does not provide an irrigation system, then additional watering shall be performed in accordance with the Supplemental Bids where alternate watering prices shall be quoted. If this work item is not included as part of the original Contract, it must be authorized. Compensation shall be in accordance with the Supplemental Bid Prices. If the Owner fails to supply water or authorize supplemental watering the Contractor's warranty for providing an established stand of turf will be voided. Watering after the required three (3) waterings shall be the responsibility of the Owner, or in accordance with authorized supplemental watering.

## B. MOWING

1. The Contractor shall mow all seeded areas three (3) times. The three (3) mowings shall be performed once the turf has reached a height of three inches (3") and shall maintain the turf at  $2-2\frac{1}{2}$ ". At no time should more than 1/3 of the leaf blade be removed by any mowing.

2. The Contractor shall mow all sodded areas once. The one (1) mowing shall be performed once the turf has reached a height of three inches (3"). At no time should more than 1/3 of the leaf blade be removed by any mowing.

## C. FERTILIZATION

1. Seeded areas after completion of the second required mowing, the Contractor shall apply an 18-5-9 commercial fertilizer at the rate of 15 pounds per 1,000 square feet (650 lbs/ac.) to all turf areas using a mechanical spreader and by making two (2) passes at right angles to each other.

Sodded area after completion of the required mowing, the Contractor shall apply an 18-5-9 commercial fertilizer at the rate of 15 pounds per 1,000 square feet (650 lbs/ac.) to all turf areas using a mechanical spreader and by making two passes at right angles to each other.

The Contractor shall be responsible for one (1) application of a weed control product no sooner than the second mowing with the areas seeded. The product shall reflect the specific weed problem which may exist.

## 3.4 ACCEPTANCE

Acceptance of seeded areas will be determined by the Owner and/or Landscape Architect. Acceptance shall be granted upon conformance with the following: 1. Grass shall display a reasonably uniform distribution of grass plants. 2. Grass shall display vigorous growth and be green and healthy in appearance

3. Grass shall have received the required mowings, fertilization and herbicide application.

The Contractor shall not be held liable for damage incurred to the seed areas caused by deicing compounds toxic substances fertilizers pesticides and other materials not specified or not applied by him or under his supervision, nor those damages caused by vandalism or acts of natl

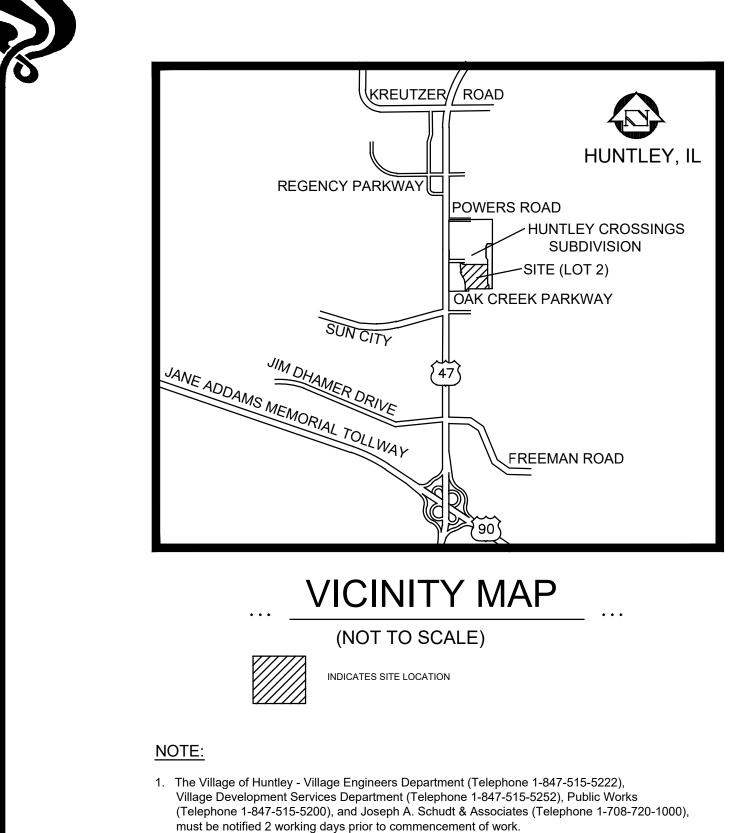
#### 3.5 GUARANTEE

The Contractor shall guarantee the provision of a green, healthy relatively weed free turf at the time of acceptance.

cale	REVISIONS	
e to s		
en it is a reproduction that may not be to scale		
may I		
that		
uctior		
prod		
s a re		
en it i		

HAMPTON INN - HUNTLI	13000 ILLINOIS ROUTE 47 HUNTLEY, ILLINOIS
SEAL:	
826 East Maple Lombard, Illinoi PH: 630.561.39	is 60148
TITLE LANDS SPECIF	CAPE FICATIONS
PROJECT NO 20 DATE: SCALE:	.: 0-133 <u>6-22-20</u> 1"=30'
SHEET	

L=Z



2. Elevation is U.S.G.S. Datum. (NAVD 88)





# 13000 ILLINOIS ROUTE 47 HUNTLEY, IL 60142

# SITE IMPROVEMENT PLANS

## OWNER / DEVELOPER WOODSTOCK HOTEL, INC. 10740 BULL VALLEY DRIVE WOODSTOCK, IL 60098 ATTN: HETAN PATEL patelhenry@yahoo.com PHONE: 847.471.5100

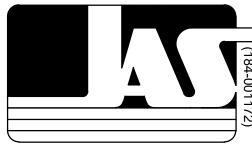
ENVIRONS ARCHITECT – PLANNERS 6201 W. MAIN SUITE 150 MARYVILLE, IL 62062 ATTN: MICHAEL SAPP msapp@environsap.com PHONE: 618.344.8699

DRAINAGE CERTIFICATION

I, D. Warren Opperman, hereby certify that adequate storm water storage and drainage capacity has been provided for this development, such that surface water from the development will not be diverted onto and cause damage to adjacent property for storms up to and including the one hundred (100) year event, and that the design places are in compliance with all applicable state, county, and Village ordinances

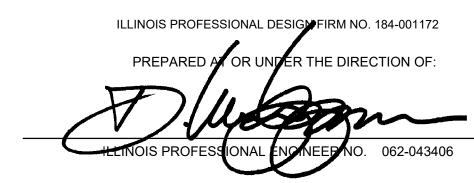


The Contractor shall defend, indemnify, keep and save harmless the Village, Owner, and Engineer, and their respective board members, representatives, agents, and employees, in both individual and official capacities, against all suits, claims, damages, losses and expenses, including attorney's fees, caused by, growing out of, or incidental to, the performance of the work under the Contract by the Contractor or its subcontractors to the full extent as allowed by the laws of the State of Illinois and not beyond any extent which would render these provisions void or unenforceable. This obligation includes but is not limited to: The Illinois laws regarding structural work (Ill. Rev. Stat. Ch.48, par.60 et seq.). And regarding the protection of adjacent landowners (III.Rev. Stat. Ch.17 1/2 par.51 et seq.). In the event of any such injury (including death) or loss or damage, or claims therefore, the Contractor shall give prompt notice to the owner.



Joseph A. Schudt & Associates 9455 ENTERPRISE DRIVE MOKENA, IL 60448 PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES



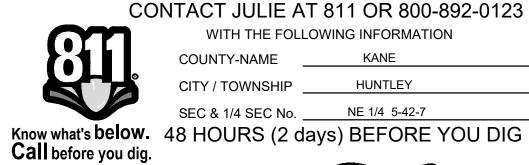


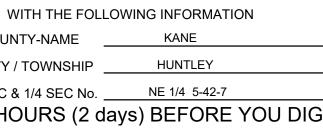
NO. 43406 REGISTERED

PROFESSIONAL ENGINEER

LINO

SIGNED: 6-24-20 LIC. EXP: 11-30-21





		_
	LEGEND	
S	EXISTING SANITARY MANHOLE	
•	PROPOSED SANITARY MANHOLE	
(-	- EXISTING SANITARY SEWER	PROPOSED CONTOUR LINE
(	- PROPOSED SANITARY SEWER	= $=$ $=$ EXISTING CURB
$\otimes$	EXISTING VALVE IN VAULT	PROPOSED CURB
	PROPOSED VALVE IN VAULT	###### EXISTING CURB TO BE REMOVED
$\otimes$	EXISTING VALVE	PROPOSED HUNG CURB
	PROPOSED VALVE	EXISTING POWER POLE
$\bigtriangleup$	EXISTING REDUCER	EXISTING TRANSFORMER
	PROPOSED REDUCER	EXISTING ELECTRIC MANHOLE
V	EXISTING HYDRANT	
*	PROPOSED HYDRANT	A EXISTING TELEPHONE PEDESTAL
	- EXISTING WATERMAIN	① EXISTING TELEPHONE MANHOLE
— P-W —	- PROPOSED WATERMAIN	
mh	EXISTING STORM MANHOLE	C EXISTING TRAFFIC SIGNAL
	PROPOSED STORM MANHOLE	hh EXISTING HAND HOLE
cb	EXISTING CATCH BASIN	EXISTING GAS VALVE
	PROPOSED CATCH BASIN	— g — EXISTING GAS MAIN
	EXISTING INLET	-CTV - EXISTING CABLE T.V.
$\oslash$	PROPOSED CIRCULAR INLET	+ EXISTING BORING LOCATION
	PROPOSED INLET	EXISTING SIGN
ST<	- EXISTING STORM SEWER	
<	-PROPOSED STORM SEWER	EXISTING DECIDUOUS TREE
)—st—-<	EXISTING CULVERT	EXISTING EVERGREEN
)— < —	PROPOSED CULVERT	EXISTING BUSH/HEDGE
¢	EXISTING LIGHT	业 EXISTING WETLAND

INDEX				
Sheet Number	Sheet Title			
1	COVER SHEET			
2	HUNTLEY MATERIAL LIST			
3	HUNTLEY GENERAL NOTES			
4	EXISTING TOPOGRAPHY			
5	SITE GEOMETRIC PLAN			
6	SITE GRADING PLAN			
7	SOIL EROSION & SEDIMENT CONTROL PLAN			
8	SITE UTILITY PLAN			
9	STORM WATER POLLUTION PREVENTION PLAN			
10	CONSTRUCTION DETAILS			
11	CONSTRUCTION DETAILS			
12	CONSTRUCTION DETAILS			

PROJECT SITE SUMMARY

PROPERTY LEGAL DESCRIPTION:

LOT 2 IN HUNTLEY CROSSINGS, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4. TOWNSHIP 42 NORTH. RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 28, 2007 AS DOCUMENT NO. 2007K099803 IN KANE COUNTY, ILLINOIS.

PROPERTY ADDRESS: 13000 ILLINOIS ROUTE 47, HUNTLEY, IL 60142

PROPERTY INDEX NUMBER: 02-04-351-006 -0000

TOTAL CONTIGUOUS OWNERSHIP: 11.271 ACRES

PROJECT AREA: 3.711 ACRES

DISTURBANCE AREA: 3.86 ACRES

## **BENCHMARKS**:

SOURCE BENCHMARK:

STATION NAME: VOH 8

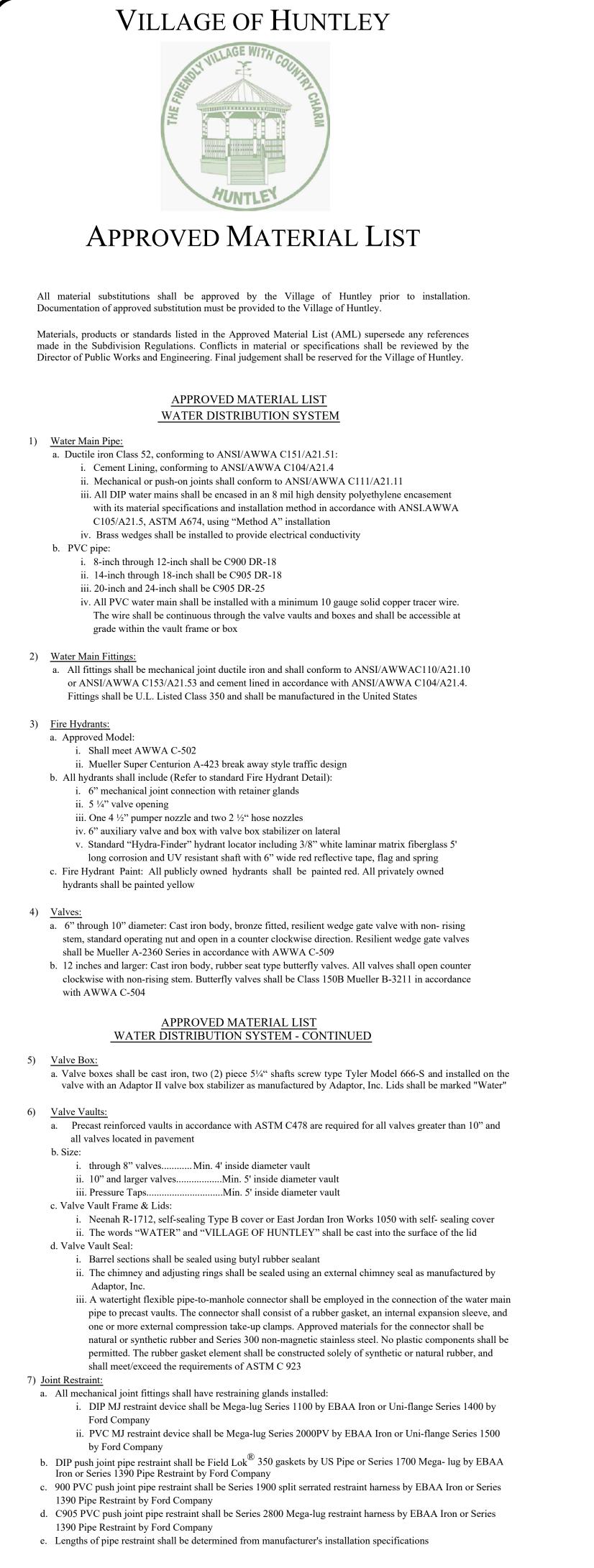
STATION LOCATION:

2" BRONZE DISC SET IN CONCRETE SIDEWALK AT NORTHWEST CORNER OF THE VISITOR CHECK IN BUILDING OF DEL WEBB'S SUN CITY SUBDIVISION. ELEVATION: 900.79 (NAVD 88)

## SITE BENCHMARK:

ARROW BOLT ON TOP OF FIRE HYDRANT AT NORTHEAST CORNER OF PARKING LOT AT SOUTH PROPERTY LINE. ELEVATION: 906.64 (NAVD 88)

1	6-24-20	TMF	REVISION	REVISION PER VILLAGE					
No.	Date	By		Description					
REVISIONS							$\rightarrow$		
	5-14-20	Dra	wn: TMF	SHEET	1	of 12	Project No.		
De	<i>sign:</i> DWO		proved: DWO	SHEEI			20-019		



8) Copper Service Lines: a. 1.5-inch diameter minimum c. Compression fittings only

- 9) <u>Service Line Taps:</u> Blair; model #317
- 10) <u>Corporation Stops:</u> a. Compression fittings i. Mueller B-25008-N (1<sup>1</sup>/<sub>2</sub>-inch and 2-inch)
- 11) Curb Stops: a. Compression fittings
- 12) <u>Curb Box:</u>
- b. Lid marked "WATER" 13) <u>Pressure Tapping:</u>
- a. Tapping Sleeves: Waterworks CST-EX
- b. Tapping Valve:

14) <u>Sampling Station:</u> manufactured by Kupferle Foundry

- 1) Sanitary Sewer Pipe: a. PVC pipe (depths 15' and less):
  - i. Gravity Sewer: PVC SDR 26 in accordance with D-3034 for pipe diameter 15" and less and F679 for pipe diameter greater than 15". Joints shall be in accordance with ASTM D-3212

  - ii. Pressure Sewer Force Main: 4-inch through 12-inch shall be C900 DR-18; 14-inch through 18-inch
  - shall be C905 DR-18. Elastomeric gasket joints shall be in accordance with ASTM D-3139 iii. Pressure Sewer Force Main (only as authorized by Director of Public Works and Engineering): PVC
  - SDR 26 in accordance with D-2241 for pipe diameter 16" and less.
- Elastomeric gasket joints shall be in accordance with ASTM D-3139 b. Polypropylene (PP - depths 15' and less):
- i. Gravity Sewer (12" through 30"): Dual wall construction; Smooth interior and annular exterior corrugations with bell & spigot joints meeting ASTM F-2736; watertight flexible elastomeric seals conforming to ASTM D-3212 and F-477
- c. Ductile iron (depths greater than 15 feet):
- i. Class 52 conforming to ANSI/AWWA C151/A21.51
- ii. Mechanical or push-on joints shall conform to ANSI/AWWA C111/A21.11 material specifications and installation method in accordance with ANSI.AWWA C105/A21.5, ASTM
- iii. All DIP sewer mains shall be encased in an 8 mil high density polyethylene encasement with its
- A674, using "Method A" installation

# be manufactured in the United States

- 3) Sewer Force Main Joint Restraint: a. All mechanical joint fittings shall have restraining glands installed:
  - Ford Company
  - ii. PVC MJ restraint device shall be Mega-lug Series 2000PV by EBAA Iron or Uni-flange Series 1500
- by Ford Company
- b. DIP push joint pipe restraint shall be Field Lok<sup>®</sup> 350 gaskets by US Pipe or Series 1700 Mega- lug by EBAA Iron or Series 1390 Pipe Restraint by Ford
- c. 900 PVC push joint pipe restraint shall be Series 1900 split serrated restraint harness by EBAA Iron or Series
- 1390 Pipe Restraint by Ford
- d. C905 PVC push joint pipe restraint shall be Series 2800 Mega-lug restraint harness by EBAA Iron or Series

## Manholes:

- Drawings
- b. Size:
- i. through 21" sewer pi
- ii. 24" through 30" sewe
- iii. >30" through 48" se

- d. Manhole Seal:

- Adaptor, Inc.

- 1390 Pipe Restraint by Ford

- c. Manhole Frame & Lids:

## b. Type K soft copper tubing in accordance with ANSI H23.1

## a. Service taps of 1 ½," & 2" require the use of a tapping saddle. Saddles shall be full circle, fusion bonded flexi coat epoxy ductile iron body (per ASTM A536) with double 304-grade stainless steel straps and hardware, and NSF 61 listed TaperSeal Nitrile gasket as manufactured by Smith-

b. Existing service connections less than 1 ½" may be re-connected upon the authorization of the Director of Public Works utilizing the direct tap method to 6-inch mains and larger only

i. Mueller B-25155-N 300 Ball (1<sup>1</sup>/<sub>2</sub>-inch and 2-inch)

a. Extension type arch pattern Mueller H-10310 with stationary rod

i. Stainless steel meeting AWWA C223 and NSF 61; Mueller H-304, Smith - Blair 665, or Cascade

ii. Flange fasteners shall be 304-grade stainless steel

i. Cast iron body, bronze fitted, resilient wedge gate valve with non-rising stem, standard operating nut and open in a counter clockwise direction. Resilient wedge tapping valves shall be Mueller T-2361 Series in accordance with AWWA C-515 and NSF 61

a. Unit shall be designed specifically for collecting bacteriological and other water samples at a designated point directly from the water main and shall be model Eclipse No. 88 with cold climate protection package as

## APPROVED MATERIAL LIST

## SANITARY SEWER SYSTEM

- iv. Brass wedges shall be installed to provide electrical conductivity

2) Sewer Force Main Fittings: All fittings shall be mechanical joint ductile iron and shall conform to ANSI/AWWA C110/A21.10 or ANSI/AWWA C153/A21.53. Fittings shall be U.L. Listed Class 350 and shall

i. DIP MJ restraint device shall be Mega-lug Series 1100 by EBAA Iron or Uni-flange Series 1400 by

e. Lengths of pipe restraint shall be determined from manufacturer's installation specifications

a. Precast reinforced in accordance with ASTM C478. Eccentric cone type unless otherwise indicated on

pe	.Min. 4' inside diameter manhole
•	.Min. 5' inside diameter manhole
wer pipe	.Min. 6' inside diameter manhole

i. Neenah R-1712, self-sealing Type B cover or East Jordan Iron Works 1050 with self- sealing cover ii. The words "SANITARY" and "VILLAGE OF HUNTLEY" shall be cast into the surface of the lid

i. Barrel sections shall be sealed using butyl rubber sealant and an external butyl joint wrap similar to Barrel Wrap as manufactured by Adaptor, Inc., EZ Wrap as manufactured Press-Seal Gasket Corporation, Infi-Shield Gator Wrap as manufactured by Sealing Systems, Inc., or approved equal ii. The chimney and adjusting rings shall be sealed using an external chimney seal as manufactured by

iii. A watertight flexible pipe-to-manhole connector shall be employed in the connection of the sanitary sewer pipe to precast manholes. The connector shall consist of a rubber gasket, an internal expansion sleeve, and one or more external compression take-up clamps. Approved materials for the connector shall be natural or synthetic rubber and Series 300 non-magnetic stainless steel. No plastic components shall be permitted. The rubber gasket element shall be constructed solely of synthetic or natural rubber, and shall meet/exceed the requirements of ASTM C 923

## 1) <u>Storm Sewer Pipe:</u>

- a.Reinforced concrete Pipe (RCP):
- i. Conforming to ASTM C-76

APPROVED MATERIAL LIST

STORM SEWER SYSTEM

- ii. Tongue & groove or bell & spigot joints using cement mortar, butyl sealant or o-ring gasket in accordance with ASTM C-351 or C-443
- iii. Thickness class shall be in accordance with the IDOT Standard Specifications for a given pipe diameter and fill height over the top of pipe
- b. Polypropylene (PP): i. Dual wall construction
  - ii. Smooth interior and annular exterior corrugations conforming to AASHTO M330 with bell & spigot joints meeting ASTM F-2736 and ASTM F-2881 for the respective diameters; watertight flexible elastomeric seals conforming to ASTM D-3212 and F-477

When authorized by the Director of Public Works, the following Storm Sewer Pipe materials may be allowed: c. PVC pipe (depths 15' and less):

- i. PVC SDR 26 in accordance with D-3034 for pipe diameter 15" and less and F679 for pipe diameter greater than 15". Joints shall be in accordance with ASTM D-3212
- ii. Pressure sewer for water main separation requirements: PVC SDR 26 in accordance with D-2241 for pipe diameter 16" and less. C905 DR-18 for 18-inch; C905 DR-25 for 20" and 24". Elastomeric gasket joints shall be in accordance with ASTM D-3139
- d. Ductile iron pipe (DIP):
  - i. Class 52 conforming to ANSI/AWWA C151/A21.51: ii. Mechanical or push-on joints shall conform to ANSI/AWWA C111/A21.11
  - iii. All DIP sewer mains shall be encased in an 8 mil high density polyethylene encasement with its material specifications and installation method in accordance with ANSI.AWWA C105/A21.5, ASTM A674, using "Method A" installation
  - iv. Brass wedges shall be installed to provide electrical conductivity
- e. High Density Polyethylene (HDPE):
- i. FOR PRIVATE USE ONLY; NOT ALLOWED ON PUBLIC RIGHT-OF-WAY ii. Smooth interior and annular exterior corrugations conforming to AASHTO M-294 and watertight flexible elastomeric seals conforming to ASTM D-3212 and F-477

## 2) Manholes:

- a. Precast reinforced in accordance with ASTM C478. Eccentric cone type.
- b. Size: i. through 21" sewer pipe. ...Min. 4' inside diameter manhole
  - ...Min. 5' inside diameter manhole ii. 24" through 30" sewer pipe..
- iii. >30" through 48" sewer pipe... ...Min. 6' inside diameter manhole iv. greater than 48" sewer pipe. ...Special design required
- c. Manhole Frame & Lids:
- i. Neenah R-1772, Type B cover (cover may be open Type D when specified on drawings) or East Jordan Iron Works 1022
- ii. The words "STORM" and "VILLAGE OF HUNTLEY" shall be cast into the surface of the lid

## 3) Inlet and Catch Basin Frame & Lids

- a. Frame & grates: Neenah R-1772, Type D open cover or East Jordan Iron Works 1022
- b. Combination frame, grate and barrier curb box: Neenah R-3281-A with standard Type C grate c. Combination frame, grate and mountable curb box: Neenah R-3501-TR (flow right) or TL (flow left) with
- standard Type L grate; alternate to be reviewed on case by case basis to match curb dimensions d. Beehive frame & grates: Neenah R-4340-B

## 4) <u>Storm Sewer Structure Seal:</u>

a. Precast sections shall be sealed using butyl rubber sealant. b. When storm sewer structure is installed in pavement, the chimney and adjusting rings shall be sealed using an external chimney seal as manufactured by Adaptor, Inc.

## APPROVED MATERIAL LIST GENERAL ITEMS

1) <u>Bolts Placed Underground:</u> All below grade factory installed bolts and fasteners shall be Teflon coated 304-grade stainless steel

## 2) <u>Casing:</u>

- a. Casing Spacers: Carrier pipe shall be centered within a casing by use of model CCS stainless steel Casing Spacers as manufactured by Cascade Waterworks Mfg.
- b. Casing End Boots: Install model CCES End Boots as manufactured by Cascade Waterworks Mfg.
- 3) Truncated Dome Detectable Warning Systems:
- a. Wet set reinforced polymer type; Brick red color homogenous throughout
- b. Meeting requirements of Americans with Disabilities Act Accessibility Guidelines, the Illinois Assembly Code and applicable IDOT Standard Details c. Approved Model: as manufactured by ADA Solutions, TufTile, and Armor-Tile (Herculite Series); Use same
- model throughout development/project

## 4) <u>Street Signs:</u>

- a. Signs: High intensity prismatic meeting MUTCD requirements
- b. Posts: Telescoping square galvanized tubing with 7/16" holes on all four sides; 10' height i. Approved Model: as manufactured by Telespar

## 5) Street Name Signs:

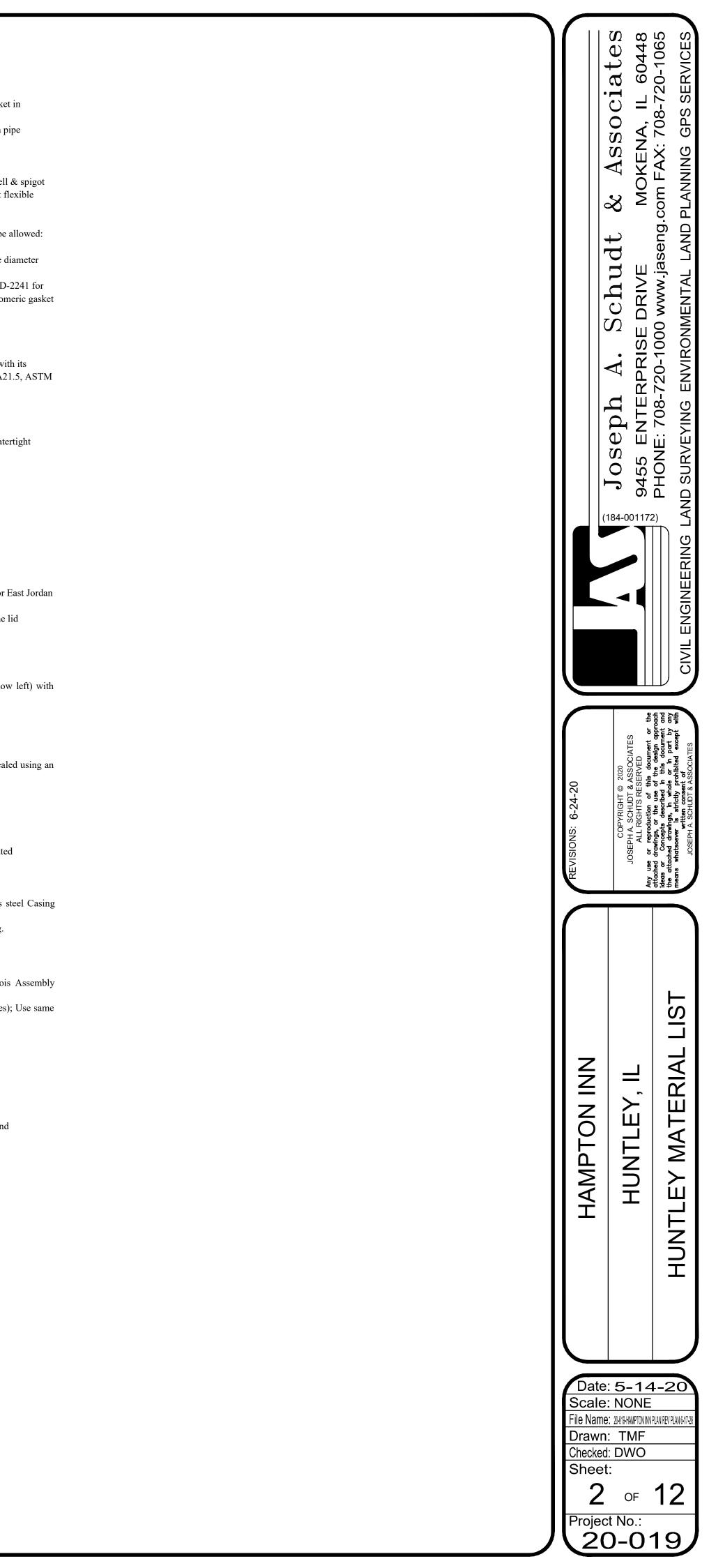
a. Signs: High intensity prismatic meeting MUTCD requirements; White letters on green background b. Posts: Round galvanized socket and wedge post; 2-3/8" outside diameter; 12' height i. Approved Model: as manufactured by Telespar

## 6) Reflective Pavement Markers:

a. Type: Recessed b. Approved Model: R-100 as manufactured by Marker One

## 7) <u>Street Lighting:</u>

a. To be reviewed on a project by project basis



## HUNTLEY GENERAL NOTES

## **PROJECT INITIATION**

- 1. A pre-construction meeting shall be conducted with the Village of Huntley staff and all contractors prior to commencing construction activities. Meeting shall be scheduled with the Development Services Department (847) 515-5200.
- 2. 24-hour emergency contact numbers shall be provided to the Village of Huntley at the preconstruction meeting.
- 3. Prior to the commencement of work the developer responsible for construction of improvements shall file with the Village Clerk a certificate of insurance per the Village's Subdivision Regulations.
- 4. Prior to the commencement of work all contractors performing work on the site shall be registered with the Village's Building Department.
- 5. Working hours shall be between the hours identified in Chapter 130.09, Noise section of the Village of Huntley's Municipal Code.
- 6. Prior to the commencement of any construction activities an approved IEPA NPDES Permit shall be obtained and a copy forwarded to the Village of Huntley's Public Works and Engineering Department.
- 7. Prior to the commencement of any excavation, the contractor shall call "JULIE" at 8-1-1 for field locations of buried electric, telephone, gas and cable television facilities. (2 working day notification is required.) The contractor shall be responsible to contact any individual private utility entity not members of the "JULIE" locate service.
- 8. Limited investigation of subsurface conditions at the proposed site of work has been made for the purpose of design. The Village of Huntley, its agents or consultants assume no responsibility whatsoever with respect to the sufficiency or accuracy of these preliminary investigations, nor their interpretation, and there is no guarantee, either expressed or implied that conditions indicated are representative of those existing throughout the work or any part of it, or that unforeseen developments may occur.
- 9. The contractor shall coordinate inspections and testing of the proposed improvements with the Village of Huntley's Engineering and Development Services Department at least one business working day in advance.
- 10. No construction plans may be used unless stamped "For Construction" by the Village of Huntley. A stamped set of "For Construction" plans shall be maintained on the site at all times.

## GENERAL

- 1. In case of conflicts the Village of Huntley general notes and standard details shall take precedence over other notes or standard details located elsewhere within the approved engineering drawings.
- 2. All construction shall be done in accordance with the "Standard Specifications for Road and Bridge Construction", latest revision; the latest edition of the "Illinois Manual on Uniform Traffic Control Devices for Streets and Highways", (MUTCD); the "Standard Specifications for Traffic Control Items", SSTCI); "the Standard Specifications for Water and Sewer Main Construction in Illinois" latest edition; ADA Standards for Accessible Design; the Village of Huntley standard details, the Village of Huntley approved material list, Subdivision Regulations and the "special provisions" included in the contract documents. In case of conflicting standards, guidelines or specifications the more restrictive standard, guideline or specification shall govern.
- 3. Codes of the IEPA Title 35 and O.S.H.A. shall be adhered to for the construction of this project.
- 4. All traffic control and other advisory signs needed for construction are to be furnished by the contractor in accordance with Section 700 of the Standard Specifications.
- 5. All required permits from the proper governing agency shall be obtained for construction along or across existing streets or highways. The contractor shall make arrangements for the proper bracing, sheeting, shoring and other required protection of all roadways before construction begins. The contractor shall be responsible for any damage to the streets or roadways and associated structures and shall make repairs as necessary to the satisfaction of the agency, at the contractor's own expense. The contractor shall be responsible for the installation and maintenance of adequate signs and warning devices to inform and protect the public.
- 6. The contractor shall provide and maintain fencing, barricades, traffic control signs, and other safety measures during the course of all work to protect the public from all construction operations.
- 7. Access to adjacent streets during construction shall be maintained at all times. No closing of streets unless approval first obtained from the agency with jurisdiction (Village Engineering Division, Kane or McHenry County Departments of Transportation, Illinois Department of Transportation, etc.).
- 8. Any damage to the public right-of-way, public utilities, streets, curb, etc. shall be repaired/replaced as soon as possible and as directed by the Village of Huntley.
- 9. The use of Village fire hydrants is not allowed. Only the Village of Huntley's Department of Public Works may operate existing valves and/or hydrants.
- 10. It shall be the contractor's responsibility to verify all dimensions and conditions existing in the field prior to ordering materials and beginning construction. Contractor shall notify the Village of Huntley and project engineer of any discrepancies immediately.
- 11. The safe and orderly passage of traffic and pedestrians shall be provided where operations abut public thoroughfares and adjacent property.

## **EROSION CONTROL**

- 1. Public/private streets shall be kept free of dirt and debris with regular cleaning, sweeping, and scraping conducted by the contractor. Garbage and debris shall not be allowed to accumulate, blow, or scatter onto streets or adjacent properties.
- 2. Whenever during construction operations any loose material is deposited in the flow line of drainage structures such that the natural flow of water is obstructed, it shall be removed at the close of each working day. At the conclusion of construction operations, all utility structures shall be free from dirt and debris.
- 3. All specified erosion control measures shall be installed and maintained per the requirements of the project's SWPPP, Kane County Stormwater Ordinance and in accordance with the active project's NPDES permit.
- 4. Continuous monitoring of erosion control measures is required. Maintain records of weekly reports per the approved IEPA NPDES permit. Copies of the inspection reports shall be forwarded to the Village's Engineering Division on a regular basis.
- 5. The contractor shall implement any additional erosion control measures deemed necessary by site's erosion control inspector, the standards of the Village of Huntley and the Illinois Urban Manual.
- 6. All storm sewer catch basins, sumps and/or retention basins provided with this project are to be cleaned at the end of construction of the project prior to final acceptance. Cleaning may also be required during the course of the construction of the project if it is determined that the silt and debris traps are not properly functioning and their performance is impaired.

## EARTHWORK

- 1. All removal or excavation items being disposed of at an uncontaminated soil fill operation or clean construction and demolition debris (CCDD) fill site shall meet the requirements of 415ILCS 5/22.51. All costs associated with meeting these requirements shall be included in the unit price cost for the associated removal or excavation items in the contract. These costs shall include but are not limited to all required testing, lab analysis, certification by a licensed professional engineer, and state and local tipping fees.
- 2. The grading and construction of the project's improvements shall not cause ponding of storm water. All areas adjacent to proposed improvements shall be graded to maintain positive drainage.
- 3. The location of on-site topsoil stockpiles shall be identified on the approved plans.
- 4. The proposed grading elevations shown on the plans are finished grade. The specified depth of topsoil is to be placed before finished grade elevations are achieved.
- 5. Embankment material within parkway and open space areas shall be compacted to a minimum of ninety percent (90%) of maximum density in accordance with ASTM Specification D-1557 (modified proctor method), or to such other density as may be determined appropriate by the project's geotechnical engineer. Fill shall be monitored by a geotechnical engineer on-site with compaction results forwarded to the Engineering Division for review.
- 6. All subgrade material shall have a minimum IBR (Illinois Bearing Ratio) of 3.0 as determined by the project's geotechnical engineer, or base replacement and pavement design revisions shall be provided which are adequate to obtain equivalent pavement strength.

- 7. Proposed pavement areas, building pads, driveways and sidewalks and yard/open space areas shall be excavated or filled to plus or minus 0.1 foot of design subgrade elevations by the contractor
- 8. Any borrow pit locations shall be identified on the approved site plans and forwarded to the Engineering Division at least 24-hours prior to excavation. Provide backfill compaction reports from a geotechnical engineer and as-built plans to the Engineering Division for any borrow pit area. Backfill shall be monitored by a geotechnical engineer on-site with compaction reports forwarded to
- the Engineering Division for review.
- 9. A water truck shall be on-site at all times during mass grading operations and be available as needed for the purposes of dust control at the request of the Village of Huntley. larger than one (1) inch diameter, or other litter and waste products including other extraneous
- 10. Topsoil stockpiled for future use shall be relatively free from large roots, sticks, weeds, brush, stones materials not conducive to plant growth.
- 11. Topsoil shall be stockpiled in sequence to eliminate any re-handling or double movements by the contractor. No material shall be stockpiled within existing or proposed utility easements or within the public right-of-way.

## UTILITIES

- 1. The contractor shall coordinate inspections and testing of water main, water service, sanitary sewer, sanitary sewer services and storm sewer with the Village of Huntley's Engineering Division and Development Services Department at least 24 hours in advance.
- 2. The contractor shall be responsible for contacting the owners of all existing facilities so that the utilities and their appurtenances may be located and adjusted or moved, if necessary, prior to the start of construction operations. The contractor shall cooperate with all utility owners as provided for in the Standard Specifications.
- 3. The locations of existing Village of Huntley drainage structures, storm and sanitary sewers, water service lines and other utility lines are approximate, and the Village of Huntley does not guarantee their accuracy. Their exact horizontal and vertical locations are to be determined in the field by the contractor.
- 4. The contractor shall be responsible for the protection of all underground or surface utilities even though they may not be shown on the plans. Any utility that is damaged during construction shall be repaired or replaced to the satisfaction of the owner, the engineer, and the Village of Huntley. This work shall be at the contractor's expense.
- 5. When open cutting is allowed or other pavement opening is required, backfill shall be placed prior to the end of the working day unless otherwise authorized by the Village. All excavations shall be backfilled per the Village's standard trench detail. A temporary bituminous patch of at least two inches in thickness shall be constructed within 24 hours. It is understood that the 2 inch bituminous patch is only temporary. The temporary patch shall be maintained by the contractor. The permanent pavement repair will be completed no later than 6 months after excavation. In lieu of a bituminous patch, a steel plate (minimum of one inch of thickness) over the excavation may be approved upon request by the contractor.
- 6. Existing structures shall be circular cored and booted when existing manholes are to be tied into. 7. All trenches resulting from the construction of storm sewers, water mains, sanitary sewers and service pipes shall be backfilled with compacted trench backfill according to the IDOT Standard Specifications, Village of Huntley's Standard Detail and Standard Specifications for Water and Sewer Main Construction in Illinois.
- 8. At the end of each work day the end of all partially completed sewer or water runs shall be plugged with a water-tight fitting to ensure subsurface water or material will not enter the sewer or water system.
- 9. Precast concrete adjusting rings are not to exceed eight (8) inches in overall height and shall be used if an adjustment of structures to the finished grade established by the project engineer is necessary. A maximum of two (2) precast concrete adjusting rings shall be used.
- 10. The contractor shall cooperate with the Village in any underground utility construction which the Village may want to place during the contractor's operations.
- 11. No manholes, inlets, valve vaults or other types of structures shall be allowed to be constructed in residential or commercial driveways or sidewalks.

## PUBLIC WATER SYSTEM

- 1. An IEPA construction permit must be secured prior to beginning construction. The new water main shall not be activated until an operating permit approved by the IEPA has been returned to the
- Village. 2. All existing valves maintained by the Village of Huntley shall be operated by the Village of Huntley Department of Public Works personnel only. Unauthorized use shall subject the offender to arrest and prosecution.
- maximum cover shall be six (6) feet.
- 4. For water main shut offs, the contractor shall give the Village a minimum of 48 hours notice. The Village shall provide notification forms and determine the limit of the affected areas. The contractor shall be responsible for distribution of the notification forms to all affected residents, businesses and property owners.
- Works.
- elbows, etc.
- 7. An Illinois licensed plumber is required for any live water main tap. 8. All ductile iron water mains must be poly-wrapped (8 mil. thickness).
- 9. Hydrostatic tests. A.Where any section of a water line is provided with concrete thrust blocking for fittings, the hydrostatic tests shall not be made until at least five days after installation of the concrete thrust
- blocking.
- the Huntley Fire Protection District (HFPD).
- C. The new water mains and service lines, including valves and hydrants, shall be subjected to a hydrostatic pressure of 125 psi. The test pressure shall be held for a duration of one hour without pressure loss or further pressure application.
- D.Each valve shall be opened and closed several times during the test. E. Careful examination of exposed pipe, joints, fittings, and valves is required.
- F. Joints showing visible leakage shall be remade or replaced.
- G.Cracked pipe, defective pipe, and cracked or defective joints, fittings, and valves shall be replaced with approved material and the test repeated until results are satisfactory.

## 10. Leakage test.

- A.A metered leakage test shall be conducted after the pressure test has been satisfactorily completed. B.Duration of each leakage test shall be at least 24 hours. During the test, water lines shall be subjected to the normal water pressure of the Village water system.
- C. Maximum allowable leakage shall conform to current IEPA leakage testing specifications. D.Should any test of pipe disclose leakage greater than the maximum allowable amount, the defective
- joint or joints shall be located and repaired and the 24-hour metered leakage test repeated until the leakage is within the specified allowance. 11. Fire suppression mains. Such pipe shall be rated to meet and achieve the 200-psi testing procedures
- exemption to this requirement in writing. 12. Disinfection.
- A.After all mains have been pressure tested and accepted by the Village, the contractor shall proceed to disinfect the main in accordance with AWWA Standard C-651. The chlorinated water shall be retained in the main for a period of at least 24 hours. At the end of the 24-hour period, the treated water shall contain no less than 25 mg/l chlorine throughout the main. The contractor will sample the chlorinated disinfecting solution to assure that these minimums are maintained.
- B. After an applicable retention period, the heavily chlorinated water shall be flushed from the main until the chlorine concentration in the water leaving the main is not higher than that generally prevailing in the system. The chlorinated water being flushed from the system shall be dechlorinated to meet USEPA water quality criteria for "total residual chlorine."

12. Topsoil stockpiles shall be located in areas to avoid erosion of said stockpile to offsite areas.

- 3. Minimum cover from finished grade to top of water main shall be minimum of five (5) feet;
- 5. All water main shut downs shall be performed by the Village of Huntley Department of Public
- 6. Approved retainer glands and thrust blocking shall be installed on water mains at all bends, tees,
- B.Disposal of wastewater from hydrostatic tests, and for disinfection, shall be approved in advance by the Village Public Works and Engineering Department. Full bore flushing shall be witnessed by

in accordance with Huntley Fire Protection District requirements. Both the Village Director of Public Works and Engineering and the Huntley Fire Protection District inspector shall only grant

- C. After final flushing, and as witnessed by the Village Public Works Department and the Huntley Fire Protection District, two samples of water shall be obtained from the main for bacteriological testing. The developer shall be responsible for obtaining, delivery, and payment of the samples for testing purposes. For major water main installation, the number of samples may be increased as determined by the Village Public Works Department. A second series of samples shall be collected no less than 24 hours after the first set of samples has been collected. The individual sets of samples shall be bacteriologically tested to show the absence of coliform organisms. If either, or both, sets of samples do not pass the bacteriological examination, the contractor shall again disinfect the main in accordance with procedures until such time that satisfactory samples are collected. All samples shall be delivered and analyzed by McHenry Analytical 4314 W. Crystal Lake Road, McHenry, IL 60550.
- D. No part of the permitted water system shall be placed in service until the Village of Huntley receives the operating permit. Upon receipt of the IEPA operating permit, all valves on the system shall be opened with permission of the Village Public Works Department. The developer shall be responsible for certifying, in writing to the Director of Public Works, that he or his representatives have witnessed the opening of all valves pursuant to the operating permit
- 13. The contractor shall consider incidental to the contract any chlorination and testing of existing water main where connections to and conclusion of such mains is indicated on the drawings.

## SANITARY SEWER SYSTEM

- 1. Non-shear stainless steel couplings shall be used when connecting sewer pipes of dissimilar materials and pipes with no hub joints.
- 2. Pipe and fittings shall be the products of one approved manufacturer only, and there shall not be mixing of pipe and fittings of different manufacturers.
- 3. Contractor shall test sewers and service connections for water tightness by the low-pressure air testing, or exfiltration or infiltration method as selected by the Village Engineer.
- 4. Leakage tests. A.Low pressure air test.
- i. Prior to testing for leakage, flush and clean the sewers by passing a snug-fitting inflated rubber ball through the sewer by upstream water pressure.
- ii. Seal pipe openings with airtight plugs and braces.
- iii. Whenever the sewer to be tested is submerged under groundwater, insert a pipe probe by boring or jetting into the backfill material adjacent to the center of the sewer to determine the
- groundwater hydrostatic pressure by forcing air to flow slowly through the probe pipe. iv. Add air to the plugged sewer sections under test until internal air pressure reaches 4.0 psig greater than any groundwater hydrostatic pressure.
- v. Allow at least two minutes for air temperature to stabilize and add air to maintain the initial test pressure.
- vi. Shut off the air supply after stabilizing the air temperature and record the time in seconds for the internal sewer pressure to drop from 3.5 psig to 2.5 psig greater than any groundwater hydrostatic pressure.
- vii. Allowable limits. Total rate of air loss not to exceed 0.0030 cubic feet of air per minute per square foot of internal pipe area.
- viii. If the air test fails to meet these requirements, locate and repair, or remove and replace the faulty sections of sewer in a manner approved by the Village Engineer, as necessary to meet the allowable limits upon retesting.
- ix. Do not use acrylamide gel sealant to correct leakage.
- B. Water exfiltration tests.
- i. Seal the section of sewer to be tested by inserting inflatable rubber stoppers or by other means approved by the Village Engineer.
- ii. Fill the manhole and pipe with water to a point two feet above the top of the sewer at the upper manhole; or, if groundwater is present, two feet above the average adjacent groundwater level for a period of not less than 24 hours prior to measuring leakage.
- iii. Measure the leakage by the amount of water added to maintain the water level at that level for a period as required by the Village Engineer but not less than one hour.
- C. Water infiltration test.
- i. If, in the opinion of the Village Engineer, excessive groundwater (a minimum of 24 inches above the top of the sewer) is encountered in the construction of a section of the sewer, the exfiltration test shall not be used.
- ii.Close the end of the sewer at the upper structure sufficiently to prevent the entrance of water.
- iii. Pump out groundwater in the sewer to allow the infiltration to come to equilibrium then test for infiltration.
- D.Allowable limits for water infiltration or exfiltration test shall not exceed 200 gallons per inch of pipe diameter per 24 hours per mile of sewer, including building service connections.
- E. Contractor to provide and use measuring devices approved by the Village Engineer.
- F. Contractor to provide water, materials, and labor for making required tests.
- G.Contractor to perform tests in the presence of the Village Engineer, giving at least three days advance notice of being ready for test observation.
- 5. <u>Deflection test.</u>
- A.Test the deflection in the initial 1,200 feet of installed PVC and other flexible thermoplastic pipe and not less than 10% of the remainder of the sewer project at random locations selected by the Village Engineer.
- B. Perform the test no sooner than 30 days after backfilling has been completed.
- C. Perform the test by pulling a mandrel or rigid ball having a diameter equal to 95% of the inside diameter of the pipe through the pipe from manhole to manhole without using mechanical pulling devices.
- D.Allowable deflection limits. Five percent of the base inside diameter of the PVC pipe. E. Wherever the deflection limitation is exceeded, uncover the pipe, carefully replace compacted
- embedment and backfill material, and retest for deflection. F. In the event 10% or more of the sewer tested exceeds the allowable deflection limits, test the entire sewer system.
- 6. Vacuum testing of manholes.
- A.Sanitary sewer manholes shall be tested for leakage immediately after installation.
- B. Lift holes shall be plugged with a non-shrink grout. C. Inlet and outlet pipes at the manhole shall be plugged, taking care to securely brace plug to avoid its
- being drawn into manhole. D.Vacuum test equipment shall be placed at inside of top of cone section and seal inflated to 40 psi to
- effect a seal between vacuum base and structure E. A vacuum of ten inches of mercury shall be drawn and vacuum pump shut-off.
- F. With valve closed, time shall be measured for vacuum to drop to nine inches.
- G.Manhole integrity is acceptable if the time exceeds 60 seconds for a 48-inch diameter manhole, 75 seconds for a 60-inch diameter manhole, and 90 seconds for a 72-inch diameter manhole.
- H.If manhole fails initial test, necessary repairs shall be made with a non-shrink grout or other
- acceptable and approved materials. I. Retesting shall proceed until a satisfactory test is obtained.
- J. Contractor shall repair all visible defective joints or leaks in manhole even though vacuum test
- requirements are met. Upon completion of testing, the top two (2) steps shall be removed from all manholes.
- 7. All public sanitary sewer shall be internally recorded by remote camera. Recordings shall be in color DVD format and submitted to the Village Engineer for review and approval prior to acceptance of the sewer improvements by the Village. Televising of the sewer pipe shall not take place sooner than one year after installation unless approved by the Director of Public Works and Engineering.

## STORM WATER SYSTEM

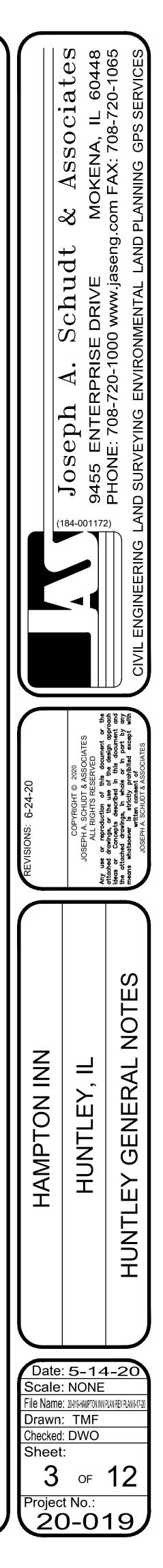
- 1. When existing drainage facilities are disturbed, the contractor shall provide and maintain temporary outlets and connections for all private or public drains, sewers or catch basins. The contractor shall provide facilities to take in all storm water which will be received by these drains and sewers and discharge the same. The contractor shall provide and maintain an efficient pumping plant, if necessary, and a temporary outlet and be prepared at all times to dispose of the water received from these temporary connections until such time as the permanent connections with sewers are built and in
- 2. When the required vertical and horizontal clearances, as specified by the IEPA, between proposed storm sewer and existing or proposed water mains cannot be met, circular pipe shall be installed of water main quality pipe for the storm sewer.

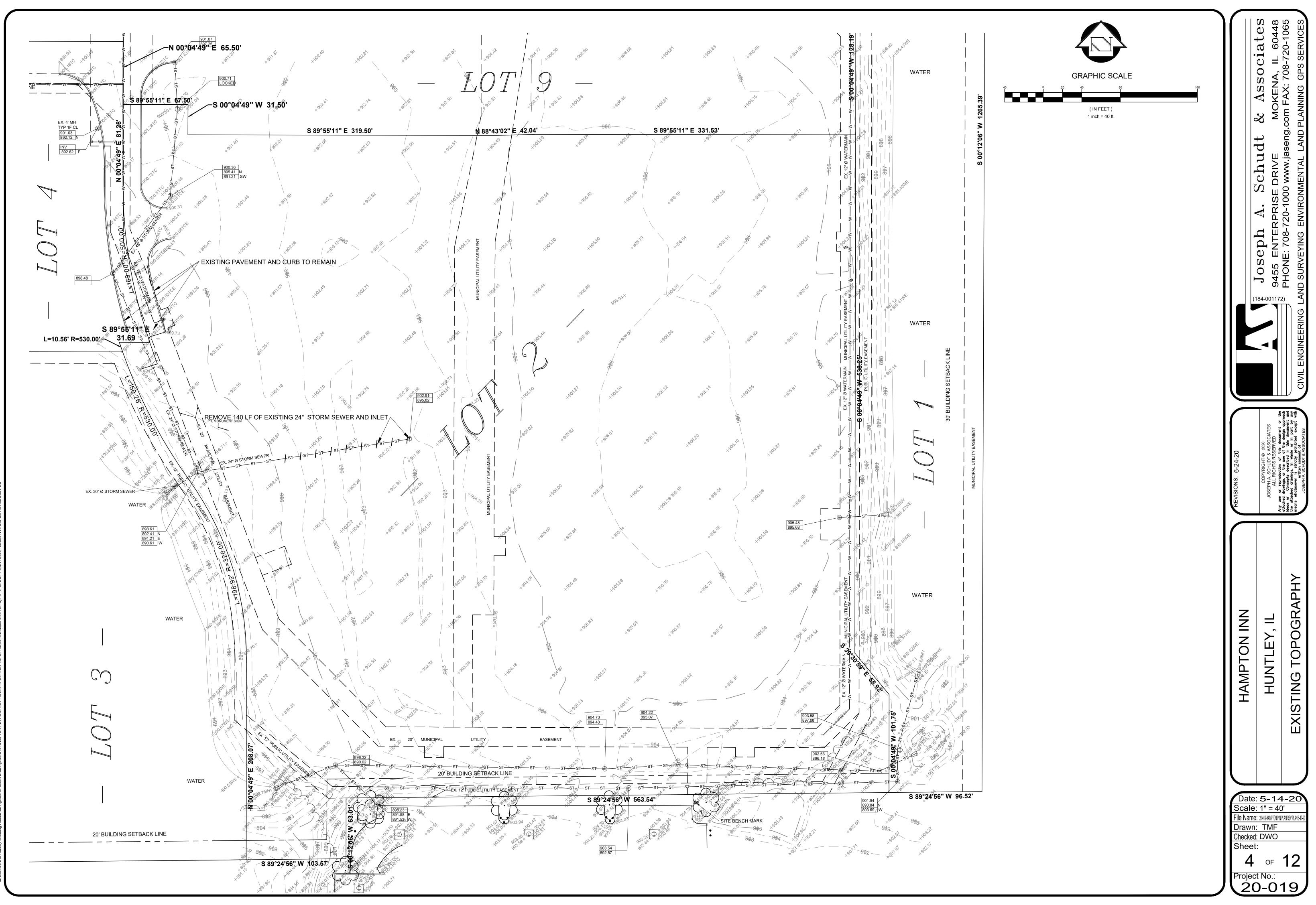
## PAVING

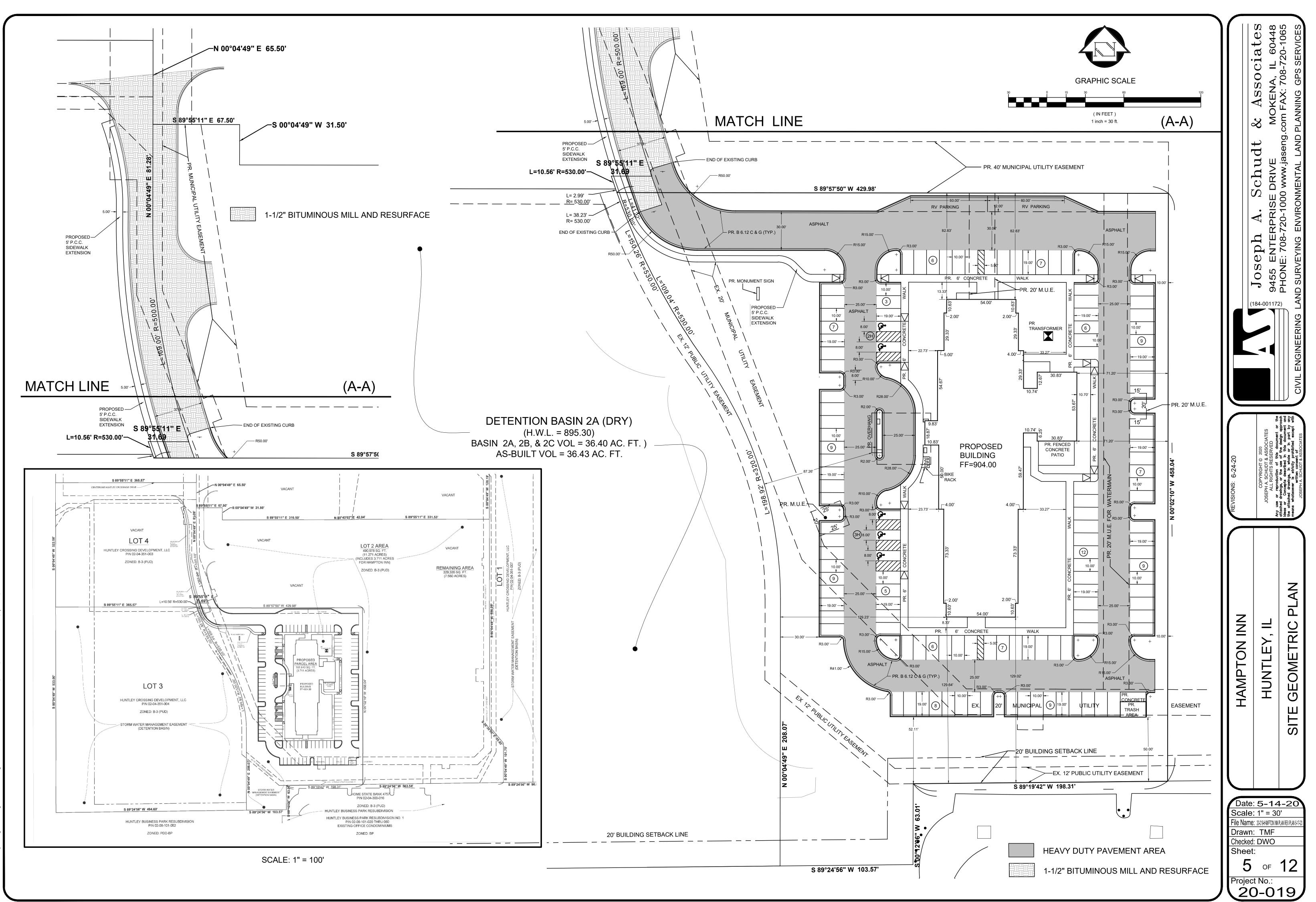
- 1. All subgrades and bases shall be proof-rolled and approved by the project's geotechnical engineer
- and witnessed by the Village of Huntley Engineering Division prior to base or binder installation. 2. Subgrades shall be finished by the contractor to within 0.1 foot plus or minus of plan elevation. The contractor shall coordinate the inspection of the subgrade for elevation with the Village of Huntley Engineering Division prior to the placement of the proposed aggregate subbase.
- 3. The contractor shall ensure that the subgrade has been properly prepared and that the finished top of subgrade elevation has been graded within the tolerances allowed in these specifications. Unless the paving contractor advises the Owner and Village Engineer in writing prior to fine grading for base course construction, it is understood that the contractor has approved and accepts responsibility for the subgrade.
- 4. For the purpose of providing handicap accessibility and complying with the Americans with Disabilities Act (ADA) and Village Standards, curbs shall be depressed at locations where public walks or pedestrian paths intersect curb lines at street intersections and other locations as directed.
- 5. <sup>3</sup>/<sub>4</sub> inch thick pre-molded fiber expansion joints with two (2) epoxy coated 24" long no. 6 plain round steel dowel bars shall be installed at designated intervals and at all p.c., p.t., curb returns and at the end of each pour. Alternate ends of the dowel bars shall be greased and fitted with plastic or metal expansion caps.
- 6. <sup>3</sup>/<sub>4</sub> inch thick fiber expansion joints shall be used in every case where the sidewalk coincides with the curb and gutter.
- 7. Contraction joints shall be saw cut at designated intervals in the curb. The cost of these joints shall be considered as incidental.
- 8. Curb & gutter and sidewalks shall be constructed at the dimensions as shown in the construction plans. All concrete shall be an IDOT approved Class SI concrete mix and shall develop a minimum of 3,500 psi compressive strength at fourteen (14) days.
- 9. Sidewalk control joints shall be set at five (5) foot centers, and one-half inch ( $\frac{1}{2}$  inch) pre-molded fiber expansion joints at fifty (50) foot centers and where the sidewalk meets the curb or another sidewalk, or at the end of each pour. All sidewalks constructed over utility trenches and/or abutting driveway aprons shall be reinforced with two (2) no. 4 reinforcing bars (20 foot minimum length).
- 10. All construction intersecting public or private roadways shall be ramped to meet a depressed curb and gutter section in conformance with current standards of the Americans with Disabilities Act. The use of colored concrete for ADA ramps is prohibited. Truncated dome panels must be installed per manufacturer requirements. Panels must meet current Village approved material list requirements.

## **PROJECT ACCEPTANCE**

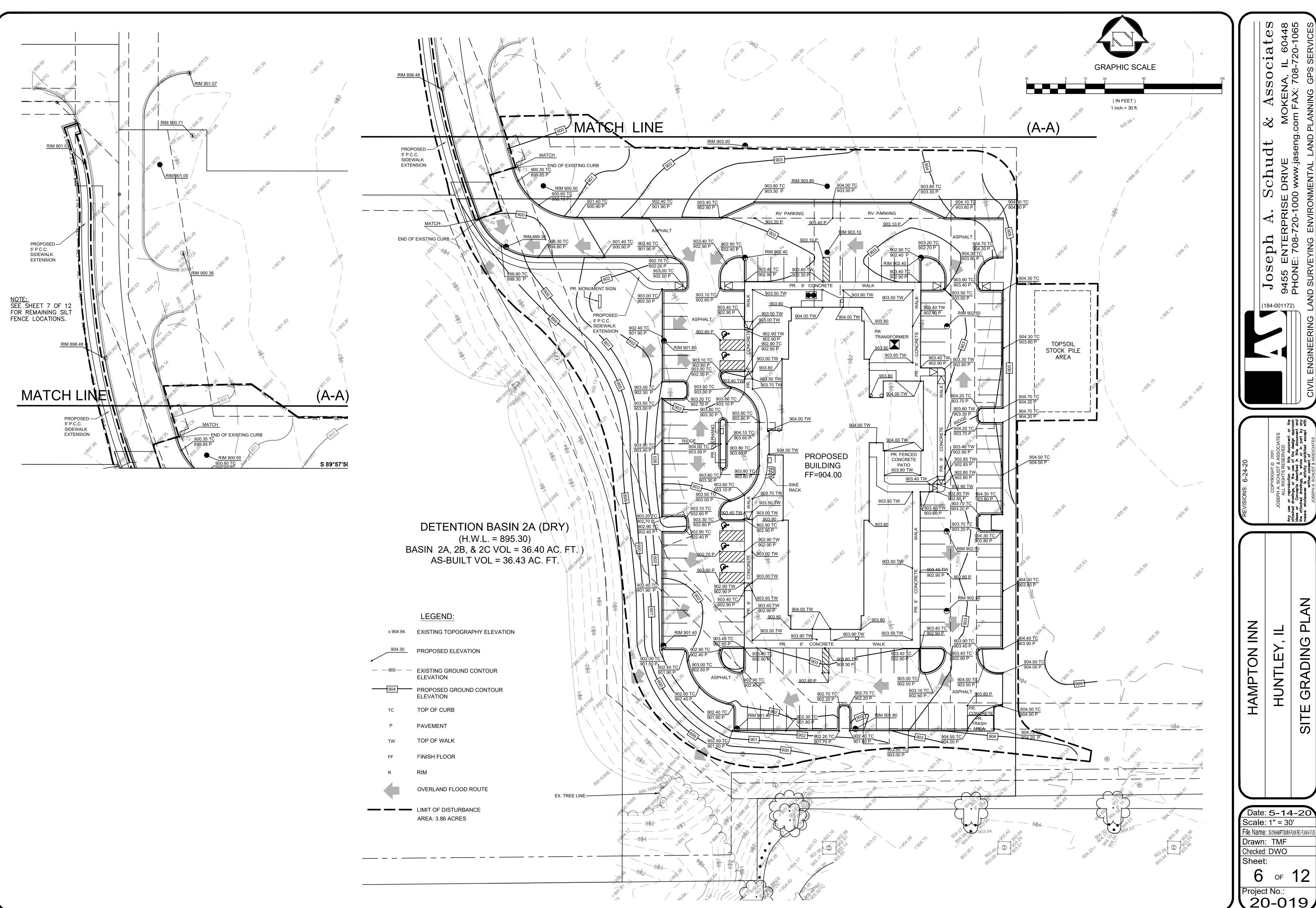
- 1. The contractor shall conduct an inspection of all work and make repairs or adjustments prior to requesting initial acceptance by the Village of Huntley.
- 2. Upon written request of the subdivider, and after the required improvements have been completed and record drawings have been submitted, the Village Engineer shall make a final inspection of the completed work. The Village Engineer shall then prepare a final punch list, itemizing all items not meeting the requirements of the approved drawings and specifications. Upon completion of all items listed in the final punch list, the subdivider shall request, in writing, a final inspection. When all items are found to meet the requirements of the Village and the approved drawings and specifications, the Village Engineer shall notify the Village Manager, in writing, of his recommendation for approval and acceptance of the improvements.
- 3. The Village Manager shall schedule the acceptance for the next available regular Village Board Committee of the Whole Meeting. Prior to final acceptance of the public improvements, the subdivider shall submit a 10% maintenance bond for the full value of the public improvements as estimated by the subdivider's Engineer and approved by the Village Engineer. Said maintenance bond shall be the developer's guarantee against defects of the public improvements / workmanship, and shall terminate three years after acceptance of maintenance of the public improvements by the Village Board. Upon acceptance by the Village Board, the balance of the public improvements construction guarantee shall be released to the subdivider.
- 4. Written acceptance request aforementioned must be submitted between April 1st and September 1st (of the same calendar year). Final acceptance by the Village Board of Trustees must occur by October 15th of the same year as the written acceptance request. Failure to meet the October 15th date will result in deferral of the acceptance procedures to the following calendar year.
- 5. Any area outside property lines or identified construction limits used by the general or subcontractors shall be returned to the state it was found prior to construction

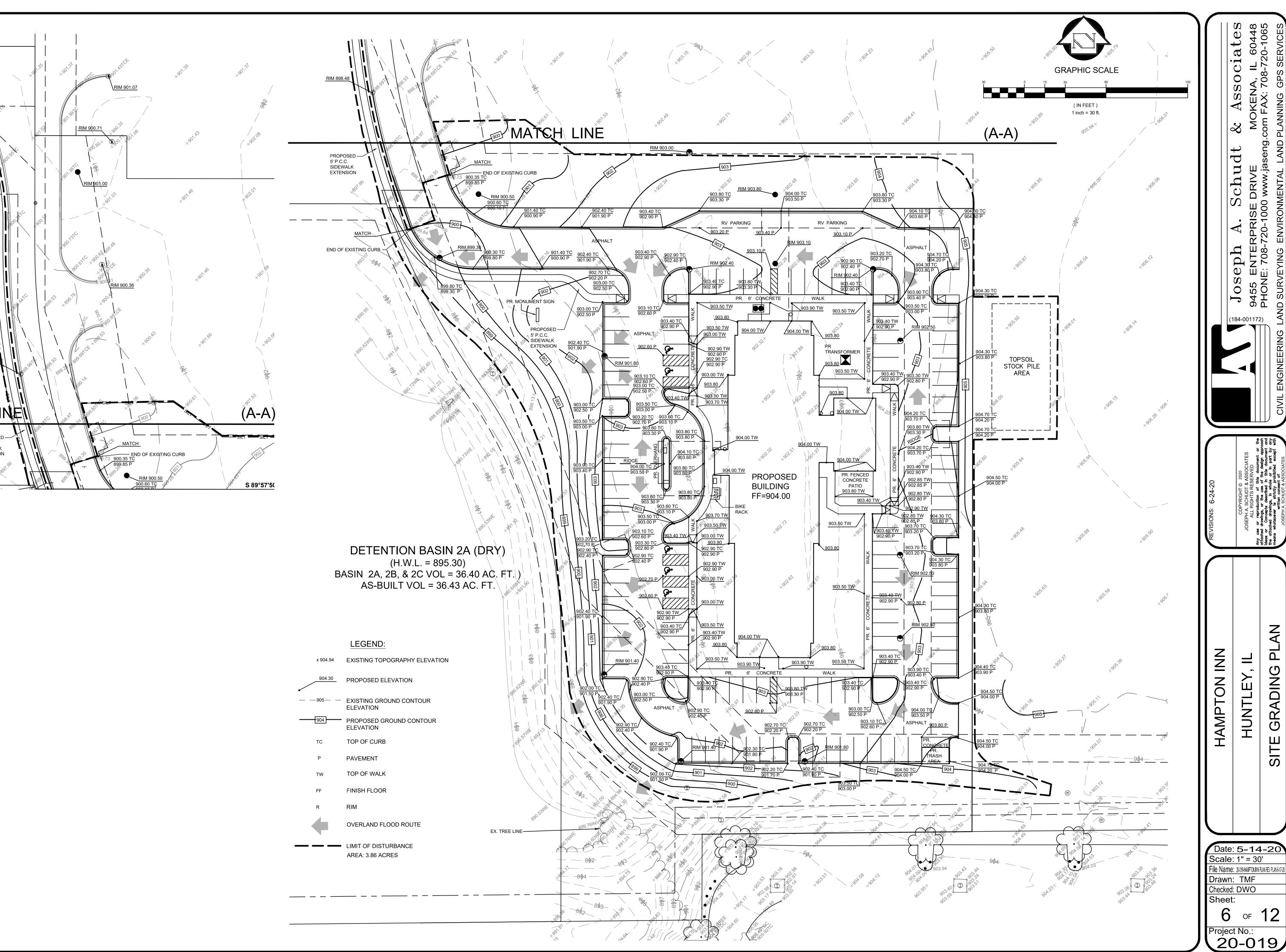


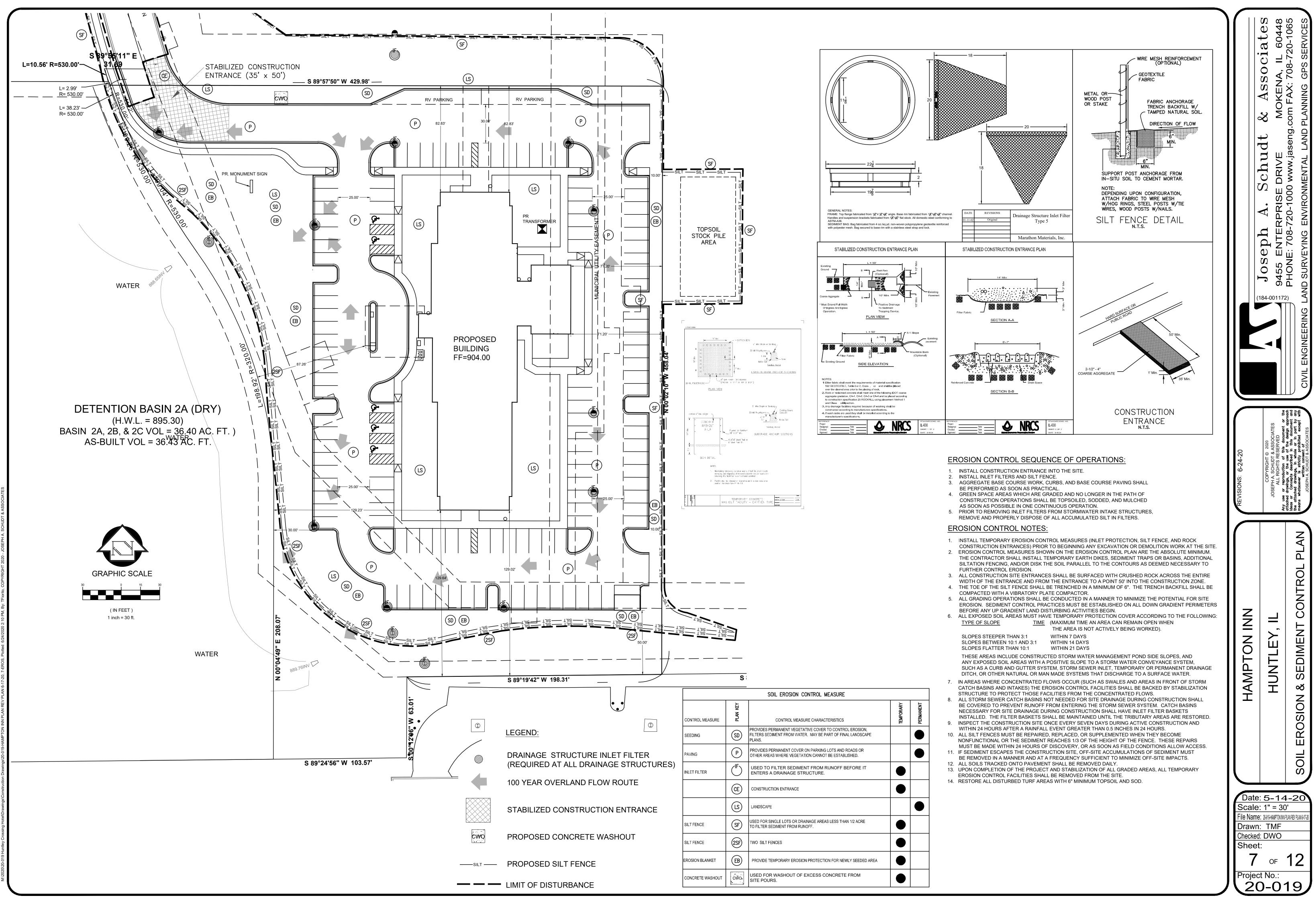




:22202020-019 Huntley Crossing Hotel/Drawings/Construction Drawings/20-019-HAMPTON INN PLAN REV PLAN 6-17-20, 5-GEOM, Plotted: 6/24/2020 2:09 PM, By: TFiorito, COPYRIGHT 2020 - JOSEPH A. SCHUDT & ASS

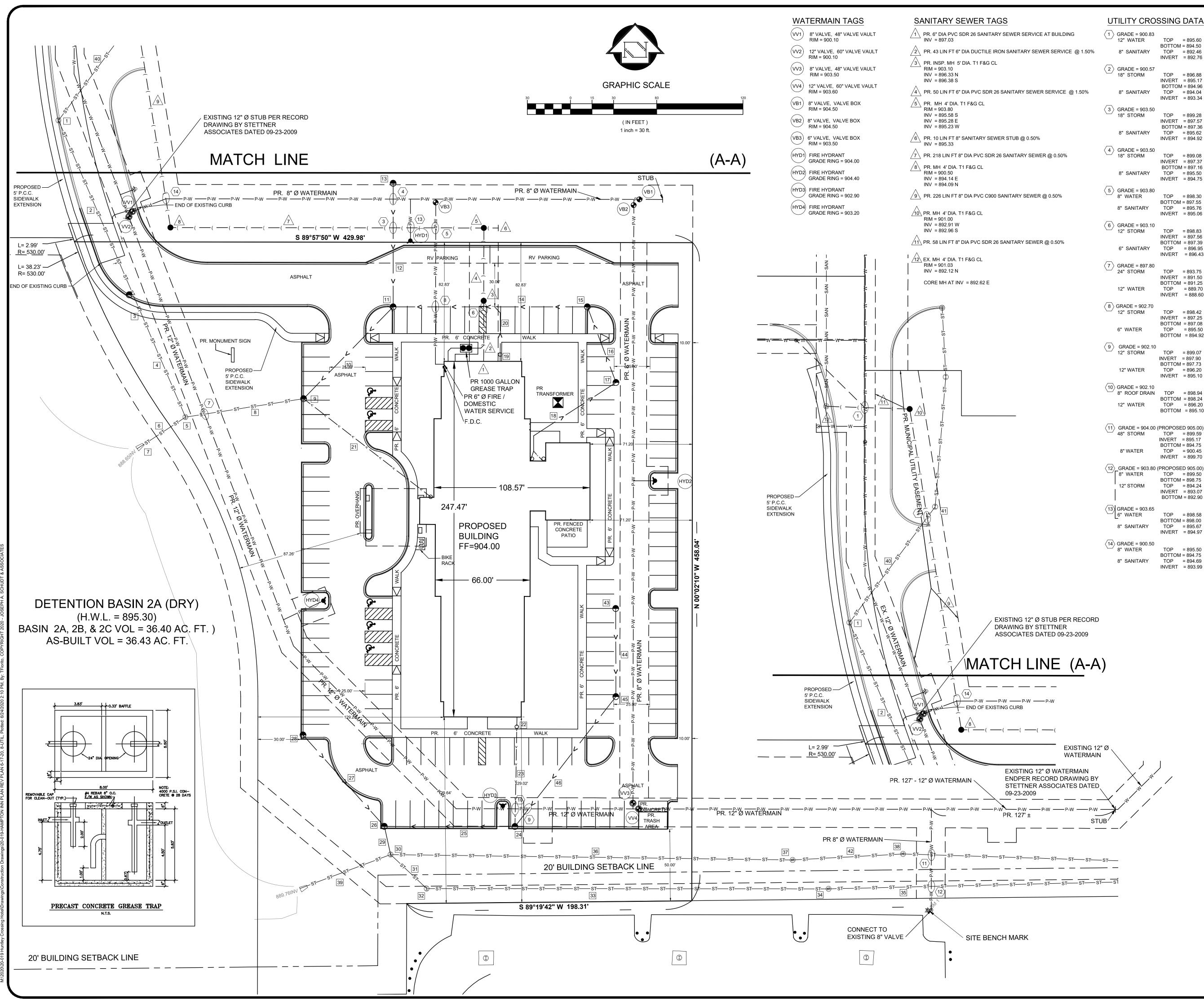






TTPE OF SLOPE	
	THE AREA IS NOT
SLOPES STEEPER THAN 3:1	WITHIN 7 DAYS

SLOPES STEEPER THAN 3:1	WITHIN / DAYS
SLOPES BETWEEN 10:1 AND 3:1	WITHIN 14 DAYS
SLOPES FLATTER THAN 10:1	WITHIN 21 DAYS



	UTILITY CRO	SSING DATA
VICE AT BUILDING	(1) GRADE = 900.83 12" WATER	TOP = 895.60
SEWER SERVICE @ 1.50%	8" SANITARY	BOTTOM = 894.50 TOP = 892.46 INVERT = 892.76
	2 GRADE = 900.57 18" STORM	TOP = 896.88 INVERT = 895.17
WER SERVICE @ 1.50%	8" SANITARY	BOTTOM = 894.96 TOP = 894.04 INVERT = 893.34
	(3) GRADE = 903.50 18" STORM	TOP = 899.28 INVERT = 897.57 BOTTOM = 897.36
50%	8" SANITARY	TOP = 895.62 INVERT = 894.92
EWER @ 0.50%	4 GRADE = 903.50 18" STORM	TOP = 899.08 INVERT = 897.37 BOTTOM = 897.16
	8" SANITARY	TOP = 895.50 INVERT = 894.75
VER @ 0.50%	(5) GRADE = 903.80 8" WATER	TOP = 898.30 BOTTOM = 897.55
	8" SANITARY	TOP = 895.76 INVERT = 895.06
WER @ 0.50%	(6) GRADE = 903.10 12" STORM	TOP = 898.83 INVERT = 897.56 BOTTOM = 897.39
	6" SANITARY $\langle 7 \rangle$ GRADE = 897.80	TOP = 896.95 INVERT = 896.43
	24" STORM 12" WATER	TOP = 893.75 INVERT = 891.50 BOTTOM = 891.25 TOP = 889.70
	$\langle 8 \rangle$ GRADE = 902.70	INVERT = 888.60
	6" WATER	TOP = 898.42 INVERT = 897.25 BOTTOM = 897.08 TOP = 895.50
	(9) GRADE = 902.10	BOTTOM = 894.92
	└── 12" STORM	TOP = 899.07 INVERT = 897.90 BOTTOM = 897.73
	12" WATER	TOP = 896.20 INVERT = 895.10
	(10) GRADE = 902.10 8" ROOF DRAIN	TOP = 898.94 BOTTOM = 898.24
	12" WATER	TOP = 896.20 BOTTOM = 895.10
	(11) GRADE = 904.00 ( 48" STORM	(PROPOSED 905.00) TOP = 899.59 INVERT = 895.17
	8" WATER	BOTTOM = 894.75 TOP = 900.45 INVERT = 899.70
	<pre>(12) GRADE = 903.80 (</pre>	(PROPOSED 905.00) TOP = 899.50 BOTTOM = 898.75 TOP = 894.24 INVERT = 893.07
	GRADE = 903.65 6" WATER	BOTTOM = 892.90 TOP = 898.58
	8" SANITARY	BOTTOM = 898.00 TOP = 895.67 INVERT = 894.97
	(14) GRADE = 900.50 8" WATER	TOP = 895.50 BOTTOM = 894.75

1         2         3         4         5         6         7         8         9         10         11         12         13         14         15         16         17         18         19	EXAMPLE AS CONTRACT           EX. CB TA 5' DIA. T11 F&G           RIM = 898.48           INV = 894.67 NE           INV = 894.17 SE           EX. 142 LIN FT STORM SEWER 24" DIA @ 0.80%           PR. CB TA 5' DIA. T1 F&G OL           RIM = 899.30           INV = 893.08 N           INV = 898.61           INV = 892.41 N           INV = 890.61 W           EX 40 LIN FT STORM SEWER 30" DIA @ 4.90%           PR. FLARED END SECTION 30" DIA           INV = 880.65           EX 83 LIN FT STORM SEWER 24" DIA @ 2.09%           PR. CB TA 5' DIA. T1 F&G OL           RIM = 901.80           INV = 892.99 NE           INV = 892.99 NE           INV = 892.50 SE           INV = 896.50 SE           INV = 896.50 SE           INV = 896.50 SE			A Associates	ERPRISE DRIVE MOKEN	Z
	PR 6" DIA ROOF DRAIN PVC PR. 8" DIA CLEAN OUT RIM = 903.80					
	INV = 899.50 PR 8" DIA DUCTILE IRON PIPE @ 2.00% PR. CB TA 4' DIA. T1 F&G OL RIM = 901.80 INV = 898.00 N INV = 897.80 NE INV = 897.80 W		0	© 2020	& ASSOCIATES ESERVED this document or the	of the design approact in this document and ole or in part by any prohibited except with int of
	PR. 91 LIN FT STORM SEWER 15" DIA @ 0.99% PR. CB TA 4' DIA. TA F&G OL RIM = 901.40 INV = 898.00 N INV = 896.90 NW INV = 896.90 E INV = 895.11 S		REVISIONS: 6-24-20	PYRIGHT	JOSEPH A. SCHUDT ALL RIGHTS RE use or reproduction of	hed drawings, or the use or Concepts described attached drawings, in wh is whatsoever is strictly written cons
	PR. 85 LIN FT STORM SEWER 12" DIA @ 0.59% PR. CB TC 2' DIA. T1 F&G OL RIM = 901.40 INV = 897.40				Any	atta ideas the mean
	PR. 20 LIN FT STORM SEWER 12" DIA @ 4.00% EX. MH T1 8' DIA. T1 F&G CL RIM = 898.32 INV = 890.02					
	EX. 26 LIN FT STORM SEWER 12" DIA @ 5.46% EX. MH TA 4' DIA. T1 F&G CL RIM = 898.23 INV = 891.58 E INV = 891.53 W					z
	EX. 274 LIN FT STORM SEWER 12" DIA @ 0.43% EX. MH TA 4' DIA. T1 F&G CL RIM = 903.54 INV = 892.87		HAMPTON INN	=	۲, IL	υτιιτγ ριαν
	EX. 274 LIN FT STORM SEWER 12" DIA @ 0.24% EX. 276 LIN FT STORM SEWER 48" DIA @ 1.62%		NO	ĺĺ		
37	EX. CB TA 8' DIA. T1 F&G 0L RIM = 904.73 INV = 894.43		ЪТ		HUNILEY	
38	EX. CB TA 6' DIA. T1 F&G 0L RIM = 904.22 INV = 895.07		AM		DH	С   Ц
	EX. 71 LIN FT STORM SEWER 48" DIA @ 1.65%					SITE
	EX. 98 LIN FT STORM SEWER 18" DIA @ 1.46% EX. CB TA 4' DIA. T11 F&G RIM = 900.36 INV = 895.41 N INV = 895.21 SW					
	EX. 77 LIN FT STORM SEWER 48" DIA @ 0.83% PR. CB TC 2' DIA. T1 F&G OL RIM = 902.50 INV = 898.80 S					
44	PR. 61 LIN FT STORM SEWER 12" DIA @ 0.49%					
45	PR. CB TA 4' DIA. T1 F&G OL RIM = 902.50 INV = 898.50 N INV = 898.50 S					1-20 )'
46	PR. 114 LIN FT STORM SEWER 12" DIA @ 0.61%		Scale File Name Drawn Checkeo Sheet	): 20019 : T  : D\	hampton inn MF	

Sheet:

Project No.:

8 OF 12

20-019

	erosion control facilities shall be installed by the contractor at the beginning of iction. Other items shall be installed by the contractor as directed by the Engineer ise by case situation depending on the contractor's sequence of activities, time of ind expected weather conditions. Intractor shall install permanent erosion control systems and seeding within a time specified herein and as directed by the Engineer, therefore minimizing the amount of isceptible to erosion and reducing the amount of temporary seeding. The Engineer ermine if any temporary erosion control systems shown in the plan can be deleted iny additional temporary erosion control systems, which may not be included in this hall be added. The contractor shall perform all work as directed by the Engineer and wn in Standard 280001. In Standard Specifications additionally ments this plan. In Standard 280001. In Standard Specifications additionally ments this plan. In Standard Specifications additionally in Huntley, IL 60142. The site disturbance acreage is 3.86 acres. In Standard Specifications additional temporary Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site. In the project is not within the 100-year Floodplain limits . It is not within the 100-year Floodplain limits . It is not within the 100-year Floodplain limits . It is stored to the Solids FOR MAJOR PORTION OF THE CONSTRUCTION ACTIVITIES I WILL DISTURB SOILS FOR
<ul> <li>frame specified herein and as directed by the Engineer, therefore minimizing the amount of area susceptible to erosion and reducing the amount of temporary seeding. The Engineer and if any definitional temporary erosion control systems, which may not be included in this plan, shall be added. The contractor shall perform all work as directed by the Engineer and as shown in Standard 220001.</li> <li>Section 280. Temporary erosion control systems, which may not be included in this plan.</li> <li>SITE DESCRIPTION &amp; DESCRIPTION A CTIVITY:</li> <li>The project is located East of IL Route 47 and South of Huntley Crossings Drive in Huntley, IL 60142. The site disturbance acreage is 3.86 acres.</li> <li>Construction includes earthwork, parking improvements, and storm sever improvements for a proposed Hotel site.</li> <li>The project is not within the 100-year Floodplain limits .</li> <li>DESCRIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE Erosion control silt fencing shall be in placed prior to earthwork activities.</li> <li>Site shall be cleared. Topsoil will be remove and graded as necessary, with all proposed doad graded to roughly 1-foot below final elevation on plans.</li> <li>Littlikes tranches shall have topsoil removed prior to construction of utilities. After completion of storm sever construction, storm sever inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsoiled and seeded &amp; covered with erosion control blanket.</li> <li>Construction SITE CONSTRUCTION SITE:</li> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres, 0.00 acres are construction within the Public R.OW.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLANAS REFERENCED DOCUMENTS:</li> <li>Project plan documents, specifications and special provisions, and</li></ul>	specified herein and as directed by the Engineer, therefore minimizing the amount of isceptible to erosion and reducing the amount of temporary seeding. The Engineer ermine if any temporary erosion control systems shown in the plan can be deleted iny additional temporary erosion control systems, which may not be included in this hall be added. The contractor shall perform all work as directed by the Engineer and wn in Standard 280001. A 280. Temporary erosion control, of the standard specifications additionally ments this plan. ESCRIPTION & RESCRIPTION & RESCRIPTION & RESCRIPTION OF CONSTRUCTION ACTIVITY: The project is located East of IL Route 47 and South of Huntley Crossings Drive in Huntley, IL 60142. The site disturbance acreage is 3.86 acres. Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site. The project is not within the 100-year Floodplain limits . REPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES INTENDED SEQUENCE FOR MAJOR CONSTRUCTION SITE:
<ul> <li>supplements this plan.</li> <li>SITE DESCRIPTION &amp; DESCRIPTION OF CONSTRUCTION ACTIVITY:</li> <li>The project is located East of IL Route 47 and South of Huntley Crossings Drive in Huntley, IL 60142. The site disturbance acreage is 3.86 acres.</li> <li>Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site.</li> <li>The project is not within the 100-year Floodplain limits .</li> <li>DESCRIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE Erosion control silt fencing shall be in placed prior to earthwork activities.</li> <li>Site shall be cleared. Topsoil will be remove and graded as necessary, with all proposed roads graded to roughly 1-foot below final elevation on plans.</li> <li>Utilities trenches shall have topsoil removed prior to construction of utilities. After completion of storm sewer construction, storm sewer inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsoiled and seeded &amp; covered with erosion control blanket.</li> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li>AREA OF CONSTRUCTION SITE:         <ul> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> </ul> </li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:         <ul> <li>The site shall drain into proposed stormwater detention ponds by m</li></ul></li></ul>	ments this plan. ESCRIPTION & RIPTION OF CONSTRUCTION ACTIVITY: The project is located East of IL Route 47 and South of Huntley Crossings Drive in Huntley, IL 60142. The site disturbance acreage is 3.86 acres. Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site. The project is not within the 100-year Floodplain limits . RIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE:
<ul> <li>SITE DESCRIPTION &amp; DESCRIPTION OF CONSTRUCTION ACTIVITY:</li> <li>The project is located East of IL Route 47 and South of Huntley Crossings Drive in Huntley, IL 60142. The site disturbance acreage is 3.86 acres.</li> <li>Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site.</li> <li>The project is not within the 100-year Floodplain limits .</li> <li>DESCRIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE Erosion control silt fencing shall be in placed prior to earthwork activities.</li> <li>Site shall be cleared. Topsoil will be remove and graded as necessary, with all proposed roads graded to roughly 1-foot below final elevation on plans.</li> <li>Utilities trenches shall have topsoil removed prior to construction of utilities. After completion of storm sever construction, storm sever inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsolied and seeded &amp; covered with erosion control blanket.</li> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li>AREA OF CONSTRUCTION SITE:         <ul> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the solis and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> </ul> </li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed stormswere detent</li></ul>	ESCRIPTION & RIPTION OF CONSTRUCTION ACTIVITY: The project is located East of IL Route 47 and South of Huntley Crossings Drive in Huntley, IL 60142. The site disturbance acreage is 3.86 acres. Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site. The project is not within the 100-year Floodplain limits . RIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE:
<ol> <li>The project is located East of IL Route 47 and South of Huntley Crossings Drive in Huntley, IL 60142. The site disturbance acreage is 3.86 acres.</li> <li>Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site.</li> <li>The project is not within the 100-year Floodplain limits .</li> <li>DESCRIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE Erosion control silt fencing shall be in placed prior to earthwork activities.</li> <li>Site shall be cleared. Topsoil will be remove and graded as necessary, with all proposed roads graded to roughly 1-foot below final elevation on plans.</li> <li>Utilities trenches shall have topsoil removed prior to construction of utilities. After completion of storm sewer construction, storm sewer inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsoiled and seeded &amp; covered with erosion control blanket.</li> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li>AREA OF CONSTRUCTION SITE: The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres to 0.00 acres are construction within the Public R.O.W.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:<td>The project is located East of IL Route 47 and South of Huntley Crossings Drive in Huntley, IL 60142. The site disturbance acreage is 3.86 acres. Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site. The project is not within the 100-year Floodplain limits . RIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES I WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE:</td></li></ol>	The project is located East of IL Route 47 and South of Huntley Crossings Drive in Huntley, IL 60142. The site disturbance acreage is 3.86 acres. Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site. The project is not within the 100-year Floodplain limits . RIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES I WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE:
<ol> <li>Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed. Hotel site.</li> <li>The project is not within the 100-year Floodplain limits .</li> <li>DESCRIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE Erosion control silt fencing shall be in placed prior to earthwork activities.</li> <li>Site shall be cleared. Topsoil will be remove and graded as necessary, with all proposed roads graded to roughly 1-foot below final elevation on plans.</li> <li>Utilities trenches shall have topsoil removed prior to construction of utilities. After completion of storm sewer construction, storm sewer inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsoiled and seeded &amp; covered with erosion control blanket.</li> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li>AREA OF CONSTRUCTION SITE:         <ul> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> <li>OTHE REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> </ul> </li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:         <ul> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sever system.</li> </ul> </li> <li>CONTROLS, EROSION CONTROLS AND SEDIMEN</li></ol>	Construction includes earthwork, parking improvements, and storm sewer improvements for a proposed Hotel site. The project is not within the 100-year Floodplain limits . RIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES I WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE:
<ol> <li>The project is not within the 100-year Floodplain limits .</li> <li>DESCRIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE Erosion control silt fencing shall be in placed prior to earthwork activities.</li> <li>Site shall be cleared. Topsoil will be remove and graded as necessary, with all proposed roads graded to roughly 1-foot below final elevation on plans.</li> <li>Utilities trenches shall have topsoil removed prior to construction of utilities. After completion of storm sewer construction, storm sewer inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsoiled and seeded &amp; covered with erosion control blanket.</li> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li>AREA OF CONSTRUCTION SITE: The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres will be disturbed by excavation, grading, and other activities. Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:</li> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater run</li></ol>	The project is not within the 100-year Floodplain limits . RIPTION OF INTENDED SEQUENCE FOR MAJOR CONSTRUCTION ACTIVITIES WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE:
<ul> <li>WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE</li> <li>Erosion control silt fencing shall be in placed prior to earthwork activities.</li> <li>Site shall be cleared. Topsoil will be remove and graded as necessary, with all proposed roads graded to roughly 1-foot below final elevation on plans.</li> <li>Utilities trenches shall have topsoil removed prior to construction of utilities. After completion of storm sewer construction, storm sewer inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsoiled and seeded &amp; covered with erosion control blanket.</li> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li>AREA OF CONSTRUCTION SITE:</li> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres will be disturbed by excavation, grading, and other activities. Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:</li> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sever system.</li> <li>CONTROLS, EROSION CONTROLS AND SEDI</li></ul>	WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE:
<ul> <li>Erosion control silt fencing shall be in placed prior to earthwork activities.</li> <li>Site shall be cleared. Topsoil will be remove and graded as necessary, with all proposed roads graded to roughly 1-foot below final elevation on plans.</li> <li>Utilities trenches shall have topsoil removed prior to construction of utilities. After completion of storm sewer construction, storm sewer inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsoiled and seeded &amp; covered with erosion control blanket.</li> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li>AREA OF CONSTRUCTION SITE:         <ul> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres will be disturbed by excavation, grading, and other activities. Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> </ul> </li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:         <ul> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sever system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sever system.</li> </ul> </li> <li>CONTROLS, EROSION CO</li></ul>	
<ul> <li>roads graded to roughly 1-foot below final elevation on plans.</li> <li>Utilities trenches shall have topsoil removed prior to construction of utilities. After completion of storm sewer construction, storm sewer inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsoiled and seeded &amp; covered with erosion control blanket.</li> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li>AREA OF CONSTRUCTION SITE: <ul> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres will be disturbed by excavation, grading, and other activities.</li> <li>Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> </ul> </li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS: <ul> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> </ul> </li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> </ul> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE: <ul> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> </ul> </li> <li>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL: <ul> <li>The drawings, specifications and special provisions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other</li></ul></li>	
<ul> <li>Utilities trenches shall have topsoil removed prior to construction of utilities. After completion of storm sewer construction, storm sewer inlet protection shall be placed at each open-grate structure.</li> <li>Detention shall be topsoiled and seeded &amp; covered with erosion control blanket.</li> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li>AREA OF CONSTRUCTION SITE: <ul> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres will be disturbed by excavation, grading, and other activities.</li> <li>Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> </ul> </li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS: <ul> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> </ul> </li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> </ul> DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE: <ol> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> </ol> CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL: <ol> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation</li></ol>	
<ul> <li>Concrete curb &amp; gutter and bituminous areas shall be constructed.</li> <li><u>AREA OF CONSTRUCTION SITE:</u> <ul> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres will be disturbed by excavation, grading, and other activities. Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> </ul> </li> <li><u>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</u> <ul> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> </ul> </li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:         <ul> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> </ul> </li> <li>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:         <ul> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ul></li></ul>	tion of storm sewer construction, storm sewer inlet protection shall be placed at
<ul> <li>AREA OF CONSTRUCTION SITE:</li> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres will be disturbed by excavation, grading, and other activities. Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:</li> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> <li>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:</li> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ul>	on shall be topsoiled and seeded & covered with erosion control blanket.
<ul> <li>The total area of the construction site is estimated to be 3.86 acres by which 3.86 acres will be disturbed by excavation, grading, and other activities. Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:</li> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sever system, and overland flow. The stormwater detention systerwill reduce the peak stormwater runoff before discharging into existing Village storm sever system.</li> <li>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:</li> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ul>	te curb & gutter and bituminous areas shall be constructed.
<ol> <li>3.86 acres will be disturbed by excavation, grading, and other activities. Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.</li> <li>OTHER REPORTS, STUDIES AND PLANS, WHICH AID IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:</li> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> <li>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:</li> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ol>	
<ol> <li>THE STORM WATER POLLUTION PREVENTION PLAN AS REFERENCED DOCUMENTS:</li> <li>Information of the soils and terrain within the site was obtained from topographic surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:</li> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> <li>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:</li> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ol>	3.86 acres will be disturbed by excavation, grading, and other activities. Of this 3.86 acres, 0.00 acres are construction within the Public R.O.W.
<ul> <li>surveys and soil borings that were utilized for the development of the proposed temporary erosion control systems.</li> <li>Project plan documents, specifications and special provisions, and plan drawings indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:</li> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> <li>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:</li> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ul>	TORM WATER POLLUTION PREVENTION PLAN AS REFERENCED
<ul> <li>indicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control systems.</li> <li>DRAINAGE TRIBUTARIES AND SENSITIVE AREAS RECEIVING RUNOFF FROM THIS CONSTRUCTION SITE:         <ol> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> </ol> </li> <li>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:         <ol> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ol></li></ul>	surveys and soil borings that were utilized for the development of the proposed
<ol> <li>CONSTRUCTION SITE:</li> <li>The site shall drain into proposed stormwater detention ponds by means of a proposed storm sewer system, and overland flow. The stormwater detention syster will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> <li>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:</li> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ol>	ndicating drainage patterns and approximate slopes anticipated after grading activities were utilized for the proposed placement of the temporary erosion control
<ul> <li>proposed storm sewer system, and overland flow. The stormwater detention system will reduce the peak stormwater runoff before discharging into existing Village storm sewer system.</li> <li><u>CONTROLS, EROSION CONTROLS AND SEDIMENT CONTROL:</u></li> <li>1. The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ul>	
<ol> <li>The drawings, specifications and special provisions will ensure that existing vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be</li> </ol>	proposed storm sewer system, and overland flow. The stormwater detention system will reduce the peak stormwater runoff before discharging into existing Village storm
vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, mulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be	
have temporarily or permanently ceased, but in no case more than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased	vegetation is preserved where attainable and disturbed portions of the site will be stabilized. Stabilization practices include temporary seeding, permanent seeding, nulching, protection of trees, preservation of nature vegetation, and other appropriate measures as directed by the Engineer. Stabilization measures shall be nitiated as soon as practicable in portions of the site where construction activities
<ul> <li>Areas of existing vegetation, wood and grasslands, outside the proposed construction limits shall be identified by the Engineer for preserving and shall be protected from construction activities.</li> </ul>	construction limits shall be identified by the Engineer for preserving and shall be
<ul> <li>Dead, diseased, or unsuitable vegetation within the site shall be removed as directed by the Engineer, along with required tree removal.</li> </ul>	
c. As soon as reasonable access is available to all locations where water drains away from the project, temporary perimeter erosion barrier shall be installed as called out in this plan and directed by the Engineer.	away from the project, temporary perimeter erosion barrier shall be installed as
d. Bare and sparsely vegetated ground in high erodible areas as determined by the Engineer shall be temporarily seeded at the beginning of construction where no construction activities are expected within seven (7) days.	
e. Immediately after tree removal is completed, areas which are highly erodible as determined by the Engineer, shall be temporarily seeded when no construction activities are expected within seven (7) days.	

over seeding can be completed.

2.

- 3.
- activities.
- directed by the Engineer.

- activity in the area is planned for seven (7) days.
- erosion control work is necessary.

- sodded and established.
- sod, will be established.

Establishment of these temporary erosion control measures will have additional benefits to the project. Desirable grass seed will become established in these areas and will spread seeds onto the construction site until permanent seeding/mowing and

The Village of Huntley is responsible for conducting site visits and verifying that the practices are working properly and determine if additional practices are needed for better soil erosion and sediment control. If additional practices are deemed necessary by the Village the contractor will implement the practice in a timely manner.

DESCRIPTION OF STABILIZATION PRACTICES DURING CONSTRUCTION:

1. During construction, areas outside the construction limits as outlined previously herein shall be protected. The contractor shall not use this area for staging, parking of vehicles of construction equipment, storage of materials or other construction related

(a.) Within the construction limits, areas which may be susceptible to erosion as determined by the Engineer shall remain undisturbed until full scale construction is underway to prevent unnecessary soil erosion.

(b.) As construction proceeds, the contractor shall institute the following as

i. Place temporary erosion control facilities at locations shown on the plans.

ii. Temporarily seed erodible bare earth on a weekly basis to minimize the amount of erodible surface area within the contract limits.

iii. Provide temporary erosion control systems.

iv. Continue building up the embankment to the proposed grade while, at the same time, placing permanent erosion control final shaping to the slopes.

(c.) Excavated areas and embankment shall be permanently seeded immediately after final grading. If not, they shall be temporarily seeded if no construction

(d.) Construction equipment shall be stored and fueled only at designated locations. All necessary measures shall be taken to contain any fuel or other pollutant in accordance with EPA water quality regulations. Leaking equipment or supplies shall be immediately repaired or removed from the site.

(e.) The contractor shall inspect the project daily during construction activities. Inspection shall also be done weekly and after rains of 1/2-inch or greater or equivalent snowfall and during the winter shutdown period. The project shall additionally be inspected by the construction field Engineer on a biweekly basis to determine that erosion control efforts are in place and effective and if other

(f.) Sediment collected during construction of the various temporary erosion control systems shall be disposed of on the site on a regular basis as directed by the Engineer. The cost of this maintenance shall be included in the unit bid price for earth excavation for erosion control.

(g.) The temporary erosion control systems shall be removed, as directed by the Engineer, after use is no longer needed or no longer functioning.

DESCRIPTION OF STRUCTURAL PRACTICES AFTER FINAL GRADING:

1. Temporary erosion control systems shall be left in place with proper maintenance until permanent erosion control is in place and working properly and all proposed turf areas

2. Once permanent erosion control systems as proposed in the plans are functional and established, temporary items shall be removed, cleaned up, and disturbed turf reseeded.

3. Upon completion of the industrial buildings, permanent landscaping features, including

## MAINTENANCE AFTER CONSTRUCTION:

Construction is complete after acceptance by the municipality. Maintenance up to this date will be by the contractor.

		SPECTION AND MAINTENANCE PLAN /WATER MANAGEMENT STRUCTURES (BMPS)
	INSPECTION SCHEDULE	CORRECTIVE ACTIONS
		Inspect all slopes and embankments and replant areas of bare soil or with sparse growth
	Annually early	Armor rill erosion areas with riprap or divert the runoff to a stable area
VEGETATED AREAS	spring and after	Inspect and repair down-slope of all spreaders and turn-outs for erosion
AREAS	heavy rains	Mow vegetation as specified for the area
		Remove obstructions, sediments or debris from ditches, swales and other open channels
		Repair any erosion of the ditch lining
DITCHES,	<b>.</b>	Mow vegetated ditches
SWALES AND OPEN	Annually spring and late fall and	Remove woody vegetation growing through riprap
STORMWATER	after heavy rains	Repair any slumping side slopes
CHANNELS		Repair riprap where underlying filter fabric or gravel is showing or if stones have dislodge
	Spring and late	Remove accumulated sediments and debris at the inlet, outlet, or within the conduit
CULVERTS	fall and after	Remove any obstruction to flow
	heavy rains	Repair any erosion damage at the culvert's inlet and outlet
CATCHBASINS	Annually in the	Remove sediments and debris from the bottom of the basin and inlet grates
	spring	Remove floating debris and oils (using oil absorptive pads) from any trap
		Clear and remove accumulated winter sand in parking lots and along roadways
		Sweep pavement to remove sediment
	Annually in the	Grade road shoulders and remove accumulated winter sand
AND PARKING AREAS	spring or as needed	Grade gravel roads and gravel shoulders
	needed	Clean-out the sediment within water bars or open-top culverts
		Ensure that stormwater runoff is not impeded by false ditches of sediment in the shoulder
		Inspect buffers for evidence of erosion, concentrated flow, or encroachment by development
		Manage the buffer's vegetation with the requirements in any deed restrictions
RESOURCE AND	Appually in the	Repair any sign of erosion within a buffer
TREATEMENT	Annually in the spring	Inspect and repair down-slope of all spreaders and turn-outs for erosion
BUFFERS	opinig	Install more level spreaders, or ditch turn-outs if needed for a better distribution of flow
		Clean-out any accumulation of sediment within the spreader bays or turnout pools
		Mow non-wooded buffers no shorter than six inches and less than three times per year
		Inspect the embankments for settlement, slope erosion, piping, and slumping
		Mow the embankment to control woody vegetation
WETPONDS		Inspect the outlet structure for broken seals, obstructed orifices, and plugged trash racks
AND DETENTION	Annually in fall	Remove and dispose of sediments and debris within the control structure
BASINS	and after heavy	Repair any damage to trash racks or debris guards
	rains	Replace any dislodged stone in riprap spillways
		Remove and dispose of accumulated sediments within the impoundment and forebay
		Clean the basin of debris, sediment and hydrocarbons
FILTRATION	Annually in the	Provide for the removal and disposal of accumulated sediments within the basin
	spring and late	Renew the basin media if it fails to drain within 72 hours after a one inch rainfall event
INFILTRATION BASINS	fall	Till, seed and mulch the basin if vegetation is sparse
BACING		Repair riprap where underlying filter fabric or gravel is showing or where stones have dislodged
PROPRIETARY	As specified by	Contract with a third-party for inspection and maintenance
DEVICES	manufacturer	Follow the manufacturer's plan for cleaning of devices
OTHER PRACTICES	As specified for devices	Contact the department for appropriate inspection and maintenance requirements for other drainage control and runoff treatment measures.

## MISCELLANEOUS:

1. Temporary erosion control seeding shall be applied at a rate of 100 lbs/acres, if directed.

- 2. Straw bales, hay bales, perimeter erosion barrier and silt fences will not be permitted for temporary or permanent ditch checks. Ditch checks shall be composed of aggregate, silt panels, rolled excelsior, urethane form/geotextile silt wedges, and/or any other material approved by the erosion and sediment control coordinator.
- 3. Sediment collected during construction by the various temporary erosion control systems shall be disposed of on the site on a regular basis, as directed by the Engineer. The cost of this maintenance shall be paid for at the contract unit price per cubic yard for earth excavation.
- 4. All erosion control products furnished shall be specifically recommended by the manufacturer for the use specified in the erosion control plan. Prior to the approval and use of the project, the contractor shall submit to the Engineer a notarized certification by the producer stating the intended use of the product and that the physical properties required for this application are met or exceeded. The contractor shall provide manufacturer installation procedures to facilitate the Engineer in construction inspection.

CONSTRUCTION ACTIVITY SEQUENCING:

- 1. Erect perimeter silt fence.
- 2. Construct stabilized construction entrance.
- 3. Strip topsoil from site.
- 4. Mass grade site.
- 5. Erect interior silt fence and repair re-establish perimeter silt fence. 6. Provide seeding and erosion control blanket in slope area and
- yard setback areas.
- Establish seeding on regraded area.
- 8. Install/construct Storm Sewer System including inlet protection.

	INSPECTIC	N AND MAINTENANCE PLAN	SOIL PROTECTI	ON CHA	RT												
	FOR QUAL	IFIED SEWER CONSTRUCTION	STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.	OCT.	NOV.	DEC.	Α.	KENTUCKY BLUEGRA PERENINIAL RYEGRA
	INSPECTION SCHEDULE	CORRECTIVE ACTIONS	PERMANENT SEEDING			A				-*-		-*-				в.	KENTUCKY BLUEGRA PERENINIAL RYEGRA
TARY RS	ANNUALLY	INSPECT ALL SANITARY SEWERS FOR BLOCKAGES	DORMANT SEEDING TEMPORARY SEEDING			 c				D			В			D.	STRAW MULCH PER SPRING OATS 100 L WHEAT OR CEREAL SOD.
		CLEAN SANITARY SEWERS AS NECESSARY USING VARIOUS METHODS AS REQUIRED	SODDING			E**-							,			F.	STRAW MULCH 2 TO
		SUCH AS JETTING, RODDING, ETC.	MULCHING F														IRRIGATION NEEDED F

STORM WATER POLLUTION PREVENTION PLAN CERTIFICATES: The following certificates shall be executed & provided to the Village of Huntley and Engineer with a copy at the job site:

a. Contractor Certification Statement: "I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) permit (ILR-10) that authorizes the storm water discharges associated with activity from the construction site identifies as part of this certification."

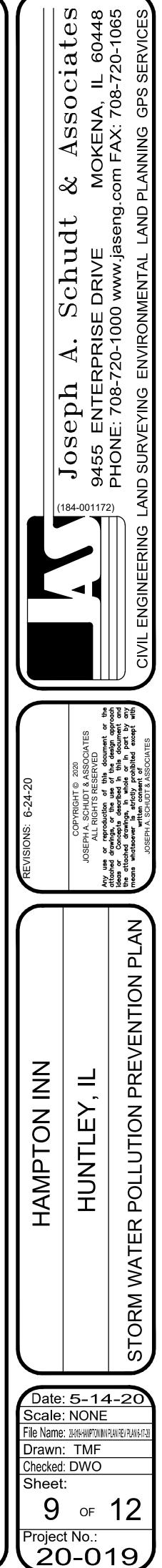
By Contractor

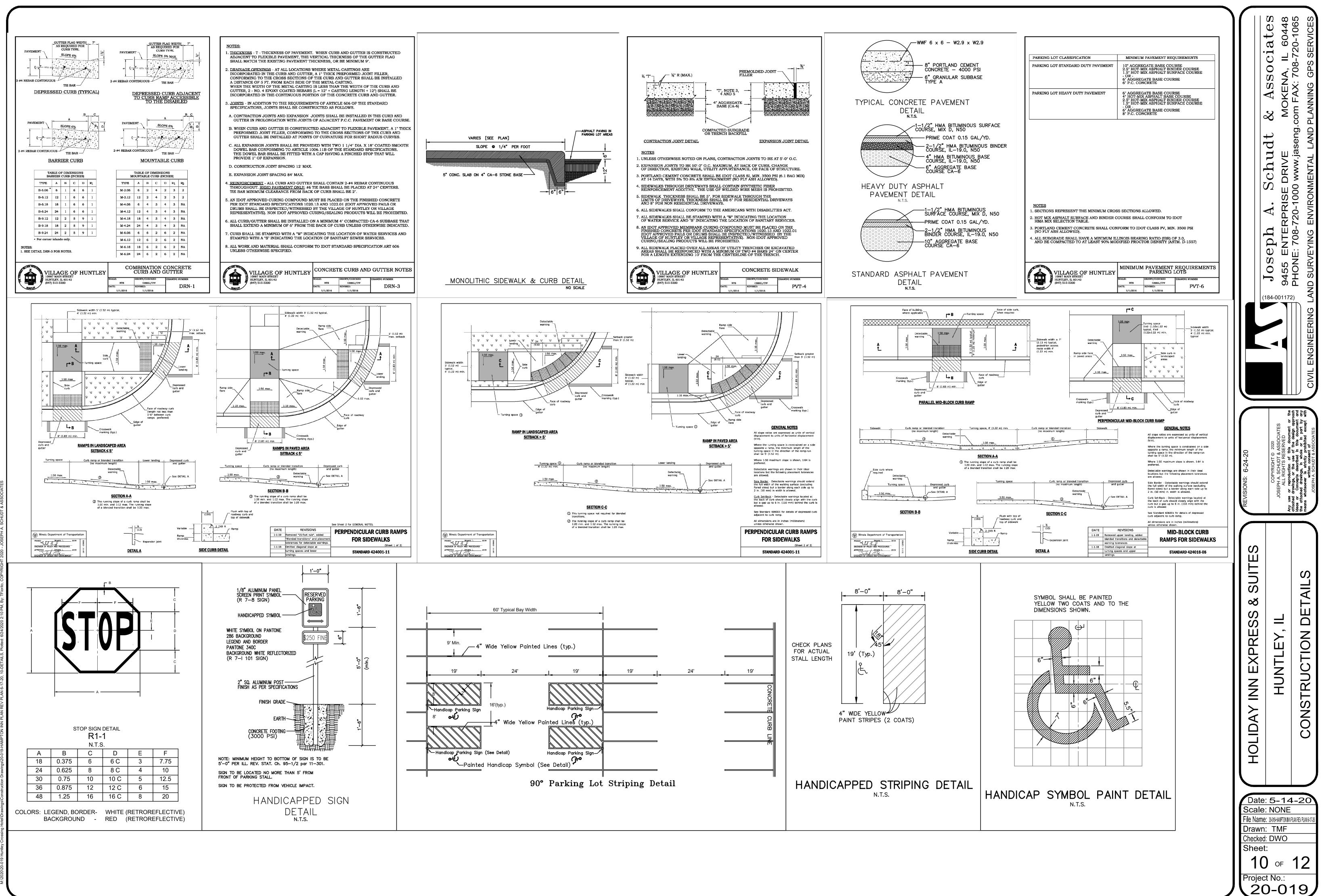
- Owner Certification Statement: "I certify under penalty of law that this b. document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."
- By: Owne

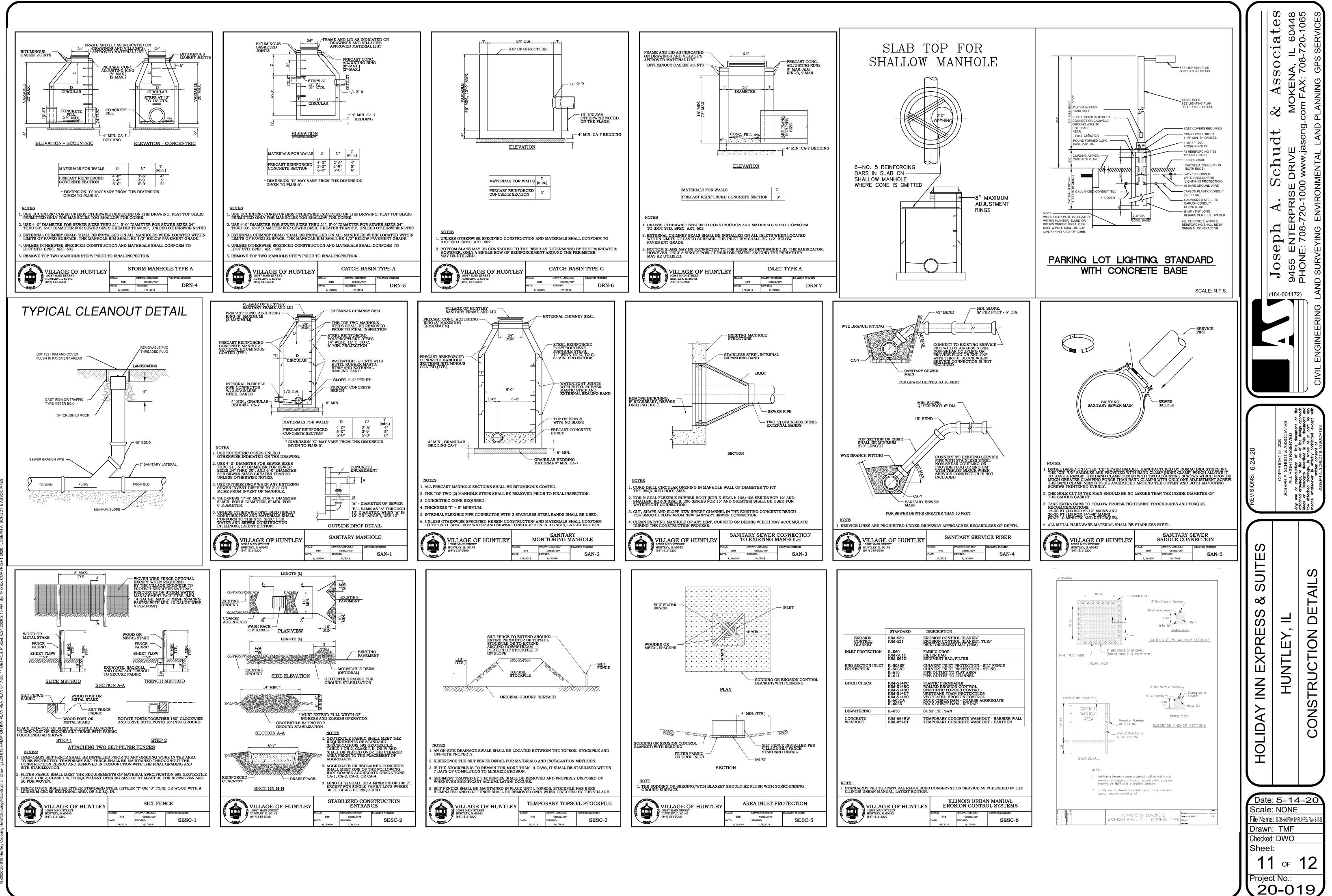
The Village of Huntley requires compliance with NPDES Phase II program. As such, all developments shall provide to the extent possible, construction site run-off control and illicit discharge prevention and elimination.

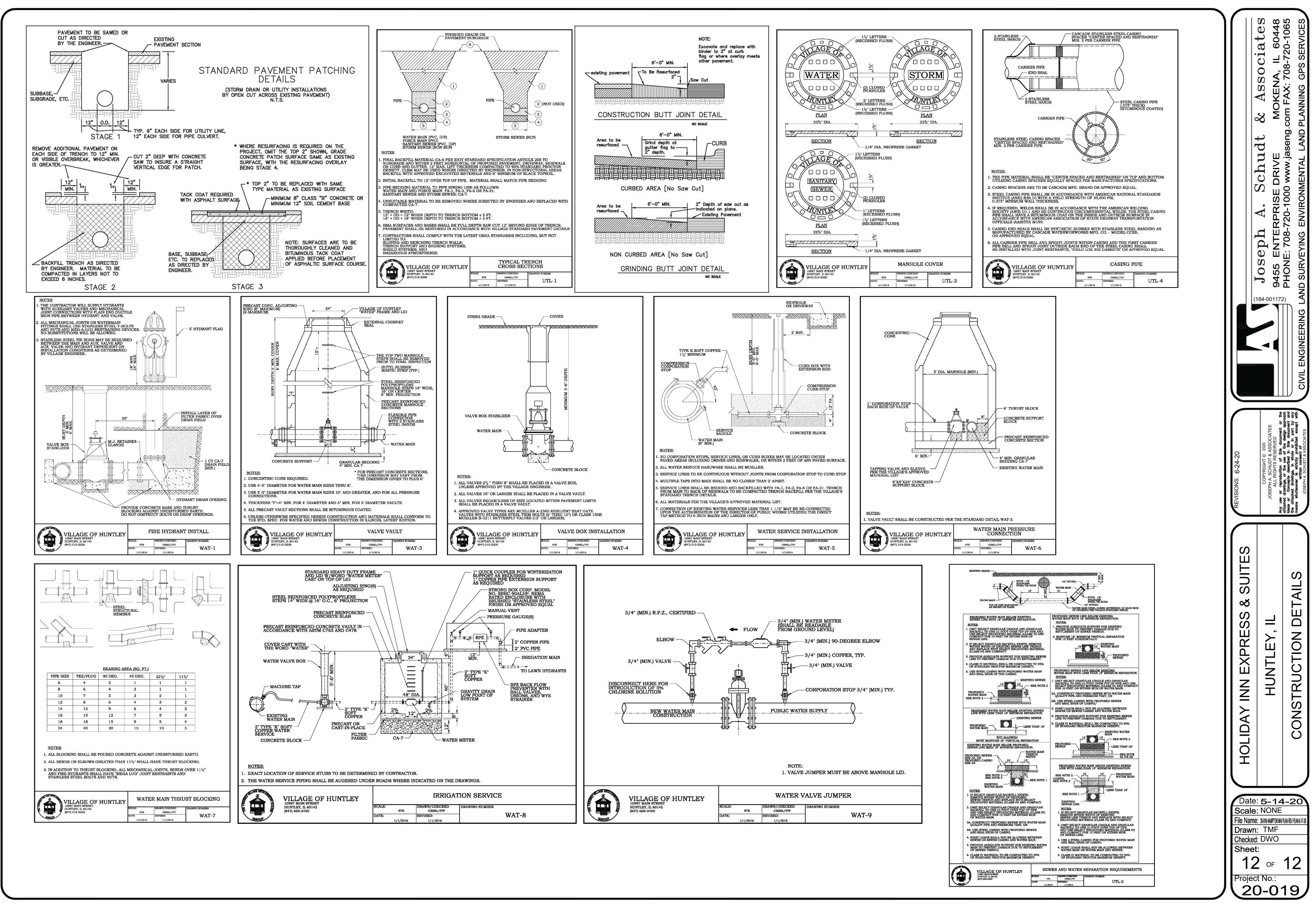
- 1. The owner is responsible for submitting the Notice of Intent (NOI) to the IEPA after the Storm Water Pollution Prevention Plan (SWPPP) is complete. The contractor is responsible for insuring that the NOI is postmarked at least 30 days before commencement of any work on site.
- 2. Prior to commencement of construction, the owner shall provide written notification to the IEPA of completion of the SWPPP and that said plan is available at the site.
- 3. The contractor is responsible for having the SWPPP on site at all times.
- 4. Inspection of controls will be completed by the owner at least once every 7 days and within 24 hours of a storm 0.5" or greater.
- 5. An Incident of Non-Compliance (ION) must be completed and submitted by the owner to the IPEA and copied to the Village if, at any time, an erosion or sediment control device fails.
- 6. A Notice of Termination (NOT) shall be completed by the owner in compliance with NPDES Phase II requirements when all permanent erosion control measures are in place with a 70% establishment rate of vegetation. The NOT shall be sent to the IEPA and the Village.
- 7. The contractor shall take the necessary steps to control waste such as discarded building materials, concrete truck washout, chemicals, litter and sanitary waste at the construction site that may cause adverse impacts to water quality.

KENTUCKY BLUEGRASS 90 LBS./AC. MIXED WITH PERENINIAL RYEGRASS 30 LBS./AC. KENTUCKY BLUEGRASS 135 LBS./AC. MIXED WITH PERENINIAL RYEGRASS 45 LBS./AC. + 2 TONS STRAW MULCH PER ACRE.	<ul> <li>We vegetative channel</li> <li>BF BARRIER FILTER</li> <li>SE STABILIZED CONSTRUCTION ENTRANCE</li> <li>2. GRADE SITE/STOCKPILE TOPSOIL.</li> <li>3. PRESERVE AND PROTECT EXISTING VEGETATION.</li> <li>4. TEMPORARY VEGETATIVE STABILIZATION OF CONTROL MEASURES: TS TEMPORARY SEEDING VF VEGETATIVE FILTER</li> <li>M MULCHING</li> <li>5. VEGETATIVE COVER ON ALL AREAS TO BE EXPOSED LONGER THAN 7 DAYS: TS TEMPORARY SEEDING</li> <li>6. PERMANENT VEGETATIVE STABILIZATION OF ALL EXPOSED AREAS WITH 7 DAYS OF: PS PERMANENT SEEDING SO SODDING</li> <li>7. INSTALL PERMANENT LANDSCAPING &amp; REMOVE TEMPORARY EROSION CONTROL</li> <li>8. PERFORM CONTINUING MAINTAINENCE.</li> </ul>	
	<ul> <li>2. <u>SEDIMENT BASINS AND PONDS</u> – WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION.</li> <li>3. <u>VEGETATIVE PLANTINGS</u> – SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.</li> <li>4. <u>REPAIRS</u> – ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN 1–2 DAYS.</li> <li>5. <u>MOWING</u> – DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.</li> <li>6. <u>FERTILIZATION</u> – SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER, WILL BE INSPECTED AND FERTILIZED AS NECESSARY.</li> <li>CONSTRUCTION SEQUENCE AND <u>RESPONSIBLE CONTRACTOR</u></li> <li>1. INSTALL SEDIMENT CONTROL MEASURES: VC VEGETATIVE CHANNEL PE PARPLEP EULTEP</li> </ul>	LANDSCAPE CONTRACTOR
	THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR MAINTENANCE OF ALL SOIL EROSION CONTROL MEASURES DURING CONSTRUCTION AND THE OWNER WILL ASSUME RESPONSIBILITY OF ALL SOIL EROSION CONTROL MEASURES AFTER CONSTRUCTION. <u>INSPECTION SCHEDULE</u> 1. <u>DIVERSION AND STRUCTURAL MEASURES</u> – WILL BE INSPECTED AT WEEKLY INTERVALS OR AFTER EVERY RAIN STORM PRODUCING RUNOFF.	

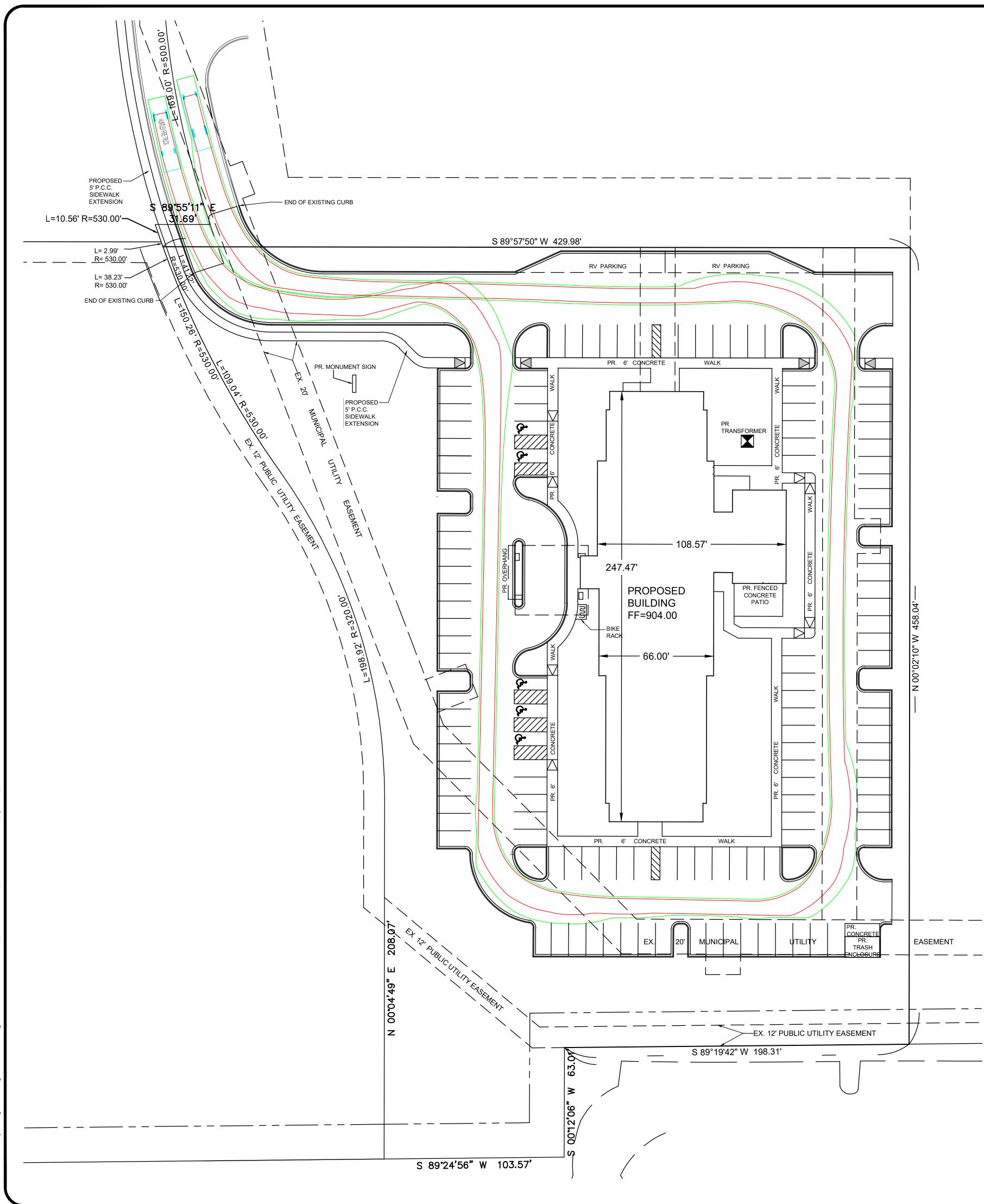




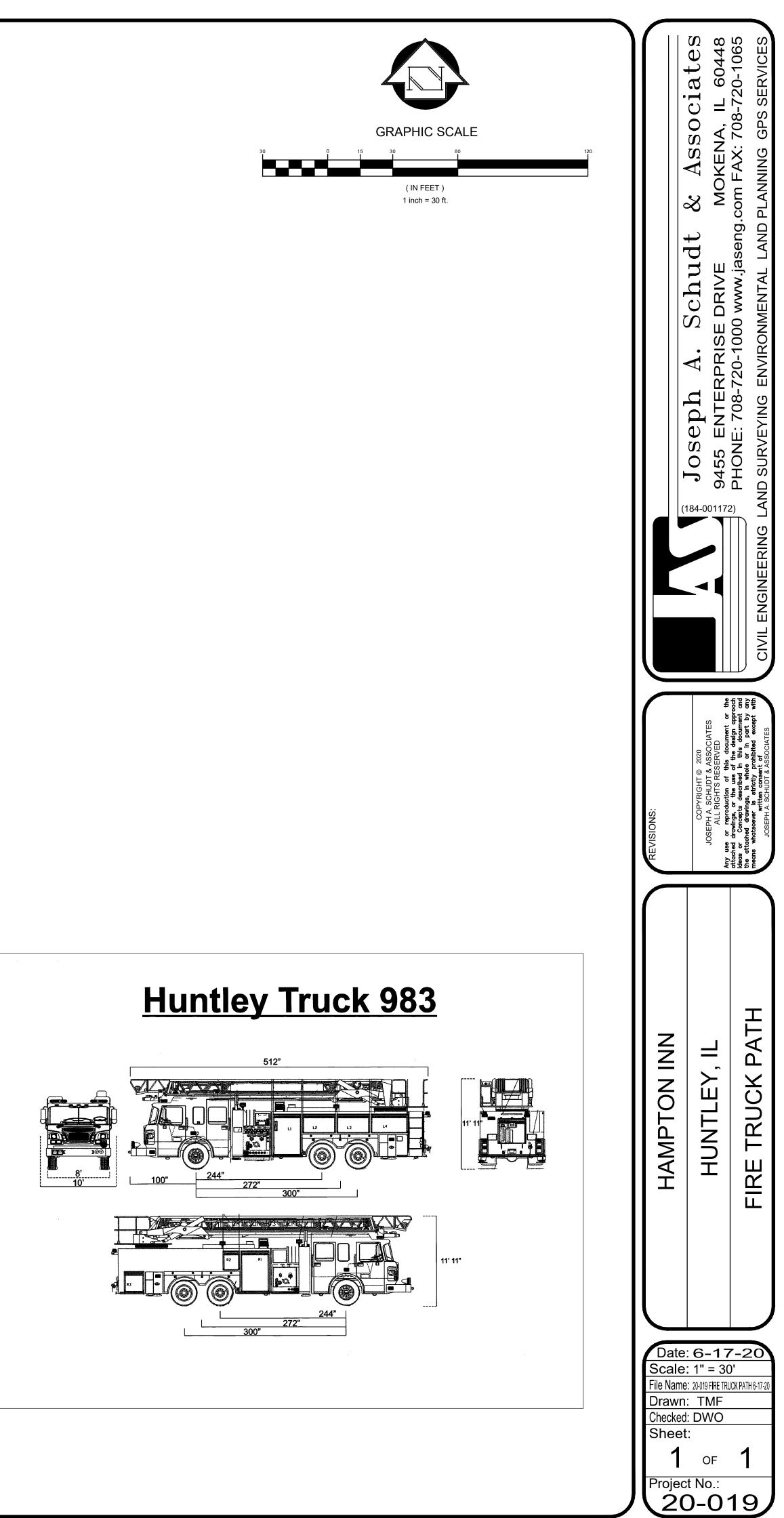




M:2020/20-019 Huntley Crossing Hotel/Drawings/Construction Drawings/20-019-HAMPTON INN PLAN REV PLAN 6-17-20, 12-DETAILS, Plotted: 6/24/2020 2:10 PM, By: TFiorito, COPYRIGHT 2020 - JOSEPH A. SCHUDT & ASSOCIATES



320/20-019 Huntley Crossing Hotel/Drawings/Construction Drawings/20-019 FIRE TRUCK PATH 6-17-20, FIRE TRUCK ROUTE, Plotted: 6/26/2020 10:56 AM, By: TFiorito, COPYRIGHT 2020 - JOSEPH A. SCHUDT & ASSOC



## NOTES:

1) CANOPY BUILT 12' AFG

2) 2.5' CONCRETE BASE ASSUMED ON POLE ASSEMBLIES 3) WALL MOUNTED FIXTURES SHOWN @ 12' AFG

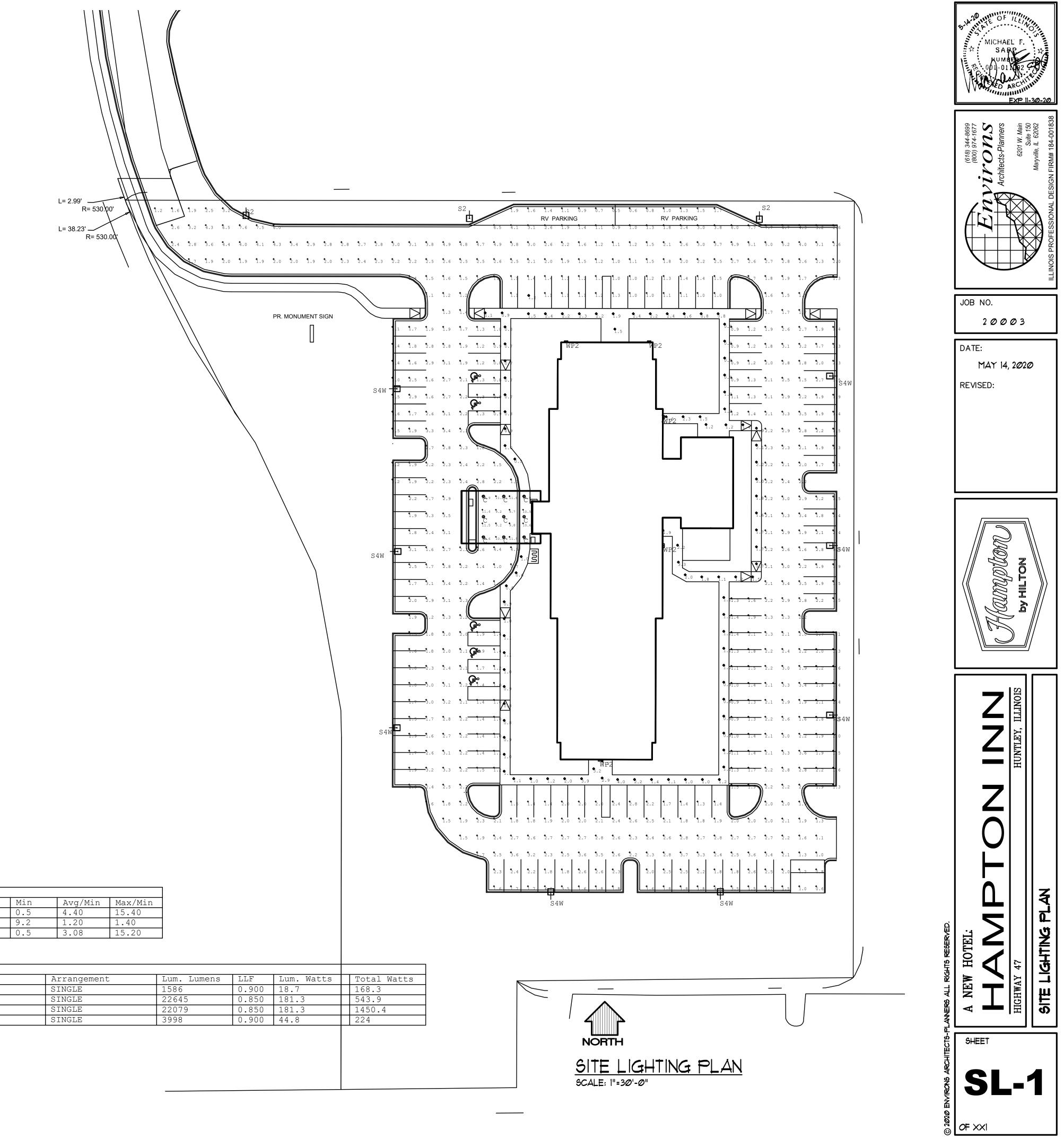
Calculation Summary			-	_			
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AND DRIVE	Illuminance	Fc	2.20	7.7	0.5	4.40	15.40
UNDER CANOPY	Illuminance	Fc	11.01	12.9	9.2	1.20	1.40
WALKWAYS	Illuminance	Fc	1.54	7.6	0.5	3.08	15.20

Luminaire Schedule

LUMITIATIE SCH	eduie		
Symbol	Qty	Label	Description
$\odot$	9	С	PRESCOLITE LTR-6RD-H-SL15L-DM1_LTR-6RD-T-SL40K8WDS
- <del>-</del>	3	S2	BEACON VP-L-80L-180-4K7-2-UNV-A-DB/SSS-B-25-40-A-1-B3-DB
- <u>-</u>	8	S4W	BEACON VP-L-80L-180-4K7-4W-UNV-A-DB/SSS-B-25-40-A-1-B3-DB
·	5	WP2	HUBBELL LNC2-18LU-4K-4 WALL MOUNTED @ 20' AFG

## Calculations provided by LEC & CO.

Date:6/30/2020 Filename: HAMPTON INN HUNTLEY IL.AGI Designed by: EE



Туре



#### **SPECIFICATIONS** Intended Use

The Beacon Viper luminaire is available in two sizes with a wide choice of different LED wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

Cat.#

Job

#### Construction:

- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant. One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket
- and stainless steel bezel. Cartridge is held together with internal brass standoffs soldered to the board so that it can
- be field replaced as a one piece optical system. Two-piece silicone and microcellular polyurethane foam gasket ensures a weather-proof seal around each individual optic.

#### Electrical:

- Luminaire accepts 100V through 277V, 50 Hz to 60 Hz (UNV), 347V, or 480V input.
- Power factor is ≥ .90 at full load.
- Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls.
- · Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- · Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices
- Ambient operating temperature -40°C to 40°C
- Surge protection 20kA.
- Lifeshield<sup>™</sup> Circuit protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset

temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

#### Controls/Options:

- · Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 360° around the luminaire. When no motion is detected for the specified time, the motion response system reduces the wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration · Available with Energeni for optional set dimming, timed dimming with simple delay, or
- timed dimming based on time of night (see www.beaconproducts.com/products/energeni) • In addition, Viper can be specified
- with SiteSync<sup>™</sup> wireless control system for reduction in energy and maintenance costs while optimizing light quality 24/7. For more details, see ordering information or visit: www.hubbelllighting.com/sitesync

#### Installation:

· Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.

#### Finish:

- · IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

#### **Certifications/Ratings:**

- DesignLights Consortium (DLC) qualified, consult DLC website for more details: http://www.designlights.org/QPL
- Certified to UL 1598, UL 8750, and CSA C22.2
- 3G rated for ANSI C136.31 high vibration applications with MAF mounting
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at: http://www.beaconproducts.com/products/viper\_large

#### Warranty:

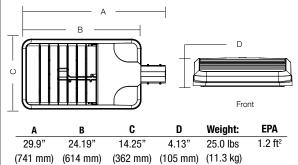
Five year limited warranty for more information visit: www.hubbelllighting.com/resources/warranty



BEACON

#### DIMENSIONS

Approvals



#### MOUNTING OPTIONS

Side View

Side View Rectangular Arm (A) Back View



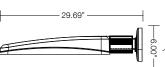
. tenon, min 4" long. 2-3/8" OD Slip Fitter (MAF)

Accepts 2 3/8" OD

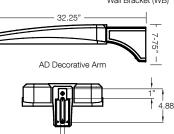


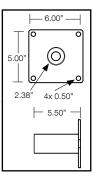
27 90" 6.63

2-3/8" Adjustable Knuckle (K) Limit to 30° tilt - Sensor, photocelss and wireless controls should not be tilted above horizontal



Wall Bracket (WB)

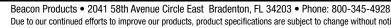














Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2019 BEACON PRODUCTS, All Rights Reserved • For more information visit our website: www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

HUBE

CON



VPL						
SERIES LED ENGINE	CCT/CRI7	ROTATION	VOLTAGE		COLOR	OPTIONS
/PL         Viper         64L-135         135W LED array           80L-180         180W LED array         80L-235         235W LED array           96L-220         220W LED array         96L-280         280W LED array           96L-315         315W LED array         96L-395         395W LED array	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI DISTRIBUTIO FR Type 1/Front Ro 2 Type 2	rotation 1 L <sup>5</sup> Optic rotation left 2 R <sup>5</sup> Optic rotation right 2 N 2 ow 3	INV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	DB Darl GYS Ligh PS Plat WH Whi	ck Textured k Bronze Textured nt Gray Smooth inum Silver Smooth te Textured tom Color	<ul> <li>F Fusing</li> <li>BSP Bird Spikes</li> <li>BC Backsheid (available for FR, 2, 3, 4, 4W Optics)</li> </ul>
	<ul> <li>3 Type 3</li> <li>4 Type 4</li> <li>4W Type 4 Wide</li> <li>5QM Type 5QM</li> <li>5QN Type 5QN</li> <li>5QN Type 5R (rectar</li> <li>5W Type 5W (round</li> <li>TC Tennis Court</li> </ul>	A Rectangular or round pol MAF Mast Arm Fi OD horizonta d wide) A Wall Bracket	tter (formerly SF2) al arm merly PK2) limit to orizontal arm or v t m for square pole	) for 2-3/8" o 30° tilt or retical tenon	7PR 7-Pin   contro 7PR-SC 7-Pin 7PR-TL 7-Pin SCP/_F <sup>1,2,6</sup> Progra daylig GENI-XX <sup>3</sup> ENERG SWP <sup>1,4</sup> SiteSy	DITROL OPTIONS Receptacle only (shorting cap, photo I), or wireless control provided by others) Receptacle w/Shorting Cap Receptacle w/Twist Lock photo control ammable Occupancy Sensor w/ ht control GENI /nc Pre-Commission /nc Pre-Commission w/ Sensor
HOUSE SIDE SHIELD ACCES HSS/EVP-L/90-FB/XXX 90° shield HSS/EVP-L/90-LR/XXX 90° shield HSS/EVP-L/270-FB/XXX 270° shield	front or back left or right d front or back	ADS Universal Ari AD4 Universal Ari AD5 Universal Ari AD6 Universal Ari	m for 4.2" -5.3" r m for 5.5" -5.9" r m for 6.0"-6.5" r <b>Accesso</b>	ound pole ound pole ound pole <b>pries and S</b>	ervices (Ordered Sep	parately)
HSS/EVP-L/270-LR/XXX 270° shiel HSS/EVP-L/360/XXX Full shield (Replace XXX with notation for desired finish color) (Refer to page 5 for shield images)	•		SCP-R	р	emote Control for SCP/_F roject to program and con	escription option. Order at least one per trol the occupancy sensor re loaded on USB flash drive for

#### MOUNTING ACCESSORIES

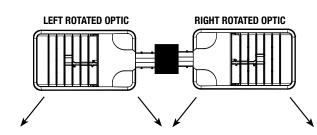
VPL-AD-RPA3 2.4"-4.1" Round Pole Adapter for AD arm

- VPL-AD-RPA4 4.2"-5.3" Round Pole Adapter for AD arm
- VPL-AD-RPA5 5.5"-5.9" Round Pole Adapter for AD arm
- VPL-AD-RPA6 6.0"-6.5" Round Pole Adapter for AD arm
- Not available with other wireless control or sensor options
- Specify mounting height,  $8 = 8^{\circ}$  or less,  $40 = 9^{\circ}$  to  $40^{\circ}$ Specify routine setting code (example GENI-04). See ENERGENI brochure and instructions for setting table and
- options. Not available with sensor or SiteSync options
- Specify group and zone at time of order. See www.hubbelllighting.com/sitesync for further details. Order at least one SiteSync interface accessory SWUSB or SWTAB. Each option contains SiteSync License, GUI, and Bridge Node Only available with FR, 2, 3, 4, 4W and 5R distributions
- Order at least one SCP-REMOTE per project location to program and control the occupancy sensor
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at: http://cdn.beaconproducts.com/content/products/specs/specs\_files/Viper\_Large\_LED\_turtle\_spec\_sheet.pdf

PRECOMMISSIONED SITESYNC ORDERING INFORMATION: When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit www.hubbell-automation.com/products/sitesync/ or contact Hubbell Lighting tech support at (800) 345-4928.

SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: VP-L/80L-235/4K7/3/UNV/A/DB/SWP/ VP-L/80L-235/4K7/3/UNV/A/DB/SWPM-40F/ SiteSync only SiteSync with Motion Control



110-480VAC For additional information related to these accessories please visit <u>www.hubbellcontrolsolutions.com</u>. Options provided for use with integrated sensor, please view specification sheet ordering information table for details.

#### SiteSync 7-Pin Module

SWTAB<sup>\*</sup>

SWBRG

SW7PR<sup>+</sup>

**Catalog Number** 

NXOFM-1R1D-UNV

WIR-RME-L



- SiteSync features in a new form
- · Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

use with owner supplied PC (Windows based only). Includes

SiteSync license, software and USB radio bridge node

is required or if an extra bridge node is requested.

Description

On-fixture Module (7-pin), On / Off / Dim,

Daylight Sensor with HubbNET Radio and

On-fixture Module (7-pin or 5-pin), On / Off

/ Dim, Daylight Sensor with wiSCAPE Radio,

Bluetooth® Radio, 120-480VAC

SiteSync 7 Pin on fixture module On/Off/Dim, Daylight

radio bridge node.

Sensor 120-480VAC \* When ordering SiteSync at least one of these two interface options must be ordered per project.

+ Available as a SiteSync retrofit solution for fixtures with an existing 7pin receptacle

Hubbell Control Solutions - Accessories (sold separately)

Windows tablet and SiteSync interface software. Includes

tablet with preloaded software, SiteSync license and USB

SiteSync USB radio bridge node only. Order if a replacement

Does no interface with occupancy sensors





Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 800-345-4928 Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2019 BEACON PRODUCTS, All Rights Reserved • For more information visit our website: www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

HUBBELL Lighting

**HCS System** 

NX Distributed

Intelligence<sup>™</sup>

Lighting Control

wiSCAPE®



HUBBELL

PERFURIN	IANCE DATA				5K					4K					3K							
				(5000K	nominal,	70 CF	I)		(4000K n	ominal,	70 C	RI)		(3000	K nomii		0 CR	I)				
	DRIVE					ĺ												Ĩ				
# LED'S		SYSTEM	DISTRIBUTION TYPE	LUMENS	LPW <sup>1</sup>	в	U	G	LUMENS	LPW <sup>1</sup>	В	U	G	LUMENS	LPW <sup>1</sup>	В	U					
ted 3	(IVIILLIAIVIPS)	WAITS	1A	18220	132	2	0	2	18783	137	2	0	2	16341	119	2	0	P				
			2	17228	125	2	0	2	17761	129	2	0	2	15452	112	2	0	$\rightarrow$				
			3	17257	125	2	0	3	17791	129	2	0	3	15478	112	2	0	T				
			4	16864	123	1	0	4	17386	126	1	0	4	15125	110	1	0					
64	625 mA	135W	4W	16648	112	2	0	4	17163	115	2	0	4	14931	100	2	0	$\downarrow$				
01	020 1111	10011	5QM	17259	125	4	0	2	17792	129	4	0	2	15479	112	4	0	_				
			<u>5QN</u> 5R	18023 17410	1 <u>31</u> 127	4	0	0	<u>18580</u> 17948	135 130	4	0	0	<u>16165</u> 15615	117	4	0	-				
			5W	16498	127	4	0	2	17940	124	4	0	3	14797	108	4	0	_				
			TC	15925	110	2	1	2	16417	113	2	1	2	14283	98	1	1	٦				
			1A	23230	128	2	0	2	23948	132	2	0	2	20835	115	2	0					
			2	21965	121	3	0	3	22645	125	3	0	3	19701	109	2	0					
			3	22003	121	2	0	4	22683	125	3	0	4	19734	109	2	0	_				
			4	21502	119	2	0	4	22167	122	2	0	4	19285	106	2	0	_				
80	700 mA	180W	4W 5QM	20810 22005	112 121	2	0	4	<u>21627</u> 22686	116 125	2	0	4	18664 19736	100	2	0	_				
			5QN	22003	127	4	0	1	23689	131	4	0	1	20610	114	4	0	-				
			5R	22197	122	4	0	4	22884	126	4	0	4	19909	110	4	0					
			5W	21035	116	5	0	3	21686	120	5	0	3	18867	104	4	0	_				
			TC	19906	110	2	1	2	20522	113	2	1	2	17854	98	2	1					
			1A	27849	121	2	0	2	28711	125	2	0	2	24978	108	2	0					
			2	26334	114	3	0	3	27148	118	3	0	4	23619	102	3	0	_				
			3	26378	114	3	0	4	27194	118	3	0	4	23659	103	3	0	_				
			4 4W	25777 25109	112 106	2	0	4 5	<u>26575</u> 25886	<u>115</u> 109	2	0	5	23120 22521	100 95	2	0	_				
80	875 mA 235W	235W	5QM	26381	114	4	0	2	27196	118	4	0	2	23661	103	4	0	-				
			5QN	27548	119	5	0	1	28400	123	5	0	1	24708	103	5	0	_				
		5R	26611	115	5	0	5	27434	119	5	0	5	23868	104	4	0	-					
		5W	25218	109	5	0	3	25998	113	5	0	3	22619	98	5	0	_					
		TC	23864	103	2	1	2	24602	107	2	1	2	21404	93	2	1						
	700 mA 220W	1A	27876	128	2	0	2	28738	132	2	0	2	25002	115	2	0						
		2	26359	121	3	0	3	27174	125	3	0	4	23641	109	3	0						
		3	26403	121	3	0	4	27220	125	3	0	4	23681	109	3	0	_					
		4 4W	25802 24651	<u>119</u> 113	2	0	4	<u>26600</u> 25413	<u>122</u> 117	2	0	5	23142 22109	106	2	0	_					
96		700 mA	700 mA	700 mA	700 mA	700 mA	220W	5QM	26406	121	4	0	2	27222	125	4	0	2	23684	102	4	0
			5QN	27575	127	5	0	1	28427	131	5	0	1	24732	114	5	0	-				
			5R	26637	122	5	0	5	27460	126	5	0	5	23891	110	4	0					
			5W	25242	116	5	0	3	26023	120	5	0	3	22640	104	5	0					
			TC	23887	110	2	1	2	24626	113	2	1	2	21424	98	2	1					
			1A	33419	121	3	0	2	34453	125	3	0	2	29974	108	2	0	_				
	700 ma 220W		2	31600	114	3	0	4	32577	118	3	0	4	28342	102	3	0	-				
			4	31654 30933	114 112	3	0	5 5	<u>32633</u> 31889	118 115	3	0	5	28390 27744	103 100	3	0	_				
	CURRENT (MILLIAMPS)SYSTEM WATTS625 mA135W700 mA180W700 mA235W		4 4W	30333	106	3	0	-	31063	109	3	-	5	27025	95	3	0					
96		280W	5QM	31657	114	5	0	3	32636	118	5	0	3	28393	103	4	0					
			5QN	33058	119	5	0	1	34080	123	5	0	1	29650	101	5	0	_				
			5R	31933	115	5	0	5	32921	119	5	0	5	28641	104	5	0					
			5W	30262	109	5	0	4	31198	113	5	0	4	27142	98	5	0	_				
			TC	28642	104	2	1	3	29528	107	2	1	3	25690	93	2	1	_				
			1A	35666	113	3	0	2	36769	117	3	0	2	31989	101	2	0	_				
			2 3	<u>33725</u> 33782	107 107	3	0	4 5	<u>34768</u> 34827	<u>110</u> 110	3	0	4	30248 30299	96 96	3	0	_				
			4	33012	107	2	0	5	34027	108	2	0	5	29609	90 94	2	0	_				
00		04 5140	4W	32158	105	3	0	5	33153	109	3	0	5	28842	95	3	0	_				
96		315W <sup>2</sup>	5QM	33785	107	5	0	3	34830	110	5	0	3	30302	96	5	0					
			5QN	35280	112	5	0	1	36371	115	5	0	1	31643	100	5	0	-				
			5R	34080	108	5	0	5	35134	111	5	0	5	30567	97	5	0	_				
			5W	32302	102	5	0	4	33301	106	5	0	4	28972	92	5	0	-				
			TC	30568	97	2	1	3	31513	100	3	1	3	27416	87	2	1	_				
			1A 2	<u>39569</u> 39569	<u>101</u> 101	3	0 0	4	<u>43125</u> 40793	<u>110</u> 104	3	0	3	37518 35490	<u>96</u> 91	<u>3</u> 3	0					
			3	39569	101	3	0	4	40793	104	3	0	4	35490	<u>91</u> 91	$\frac{3}{3}$	0	_				
			4	38723	98	3	0	5	39921	104	3	0	5	34731	88	2	0	_				
	100-	005110	4W	37720	106	3	0	5	38887	109	3	0	5	33831	95	3	0	_				
96	1225mA	395W <sup>2</sup>	5QM	39623	101	5	0	3	40848	104	5	0	3	35538	90	5	0	_				
			5QN	41394	105	5	0	1	42675	109	5	0	1	37127	95	5	0					
			5R	39969	102	5	0	5	41205	105	5	0	5	35848	91	5	0	_				
			5W	37877	97	5	0	4	39048	100	5	0	4	33986	87	5	0					
			TC	35850	90	3	1	3	36959	93	3	1	3	32154	81	3						

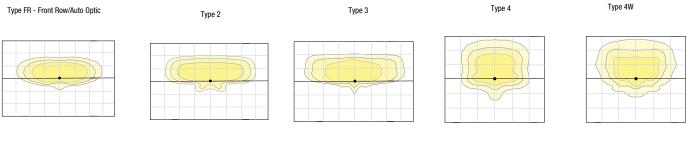
<sup>1</sup> Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application. <sup>2</sup> 315W and 395W 3000K versions are not DLC QPL listed. Reference highlighted cells in table.



Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 800-345-4928 Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2019 BEACON PRODUCTS, All Rights Reserved • For more information visit our website: www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM



#### PHOTOMETRICS

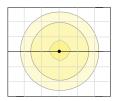


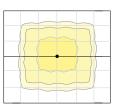
Type 5W

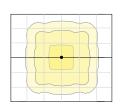
Type 5QN

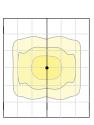
Type 5QM

Type 5R









#### **ELECTRICAL DATA**

# OF LEDS	NUMBER OF DRIVERS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	SYSTEM POWER (w)	CURRENT (Amps)
64	1	625 mA	120 277 347	135	1.4 0.6 0.5 0.3
80	2	700 mA	480 120 277 347 480	180	0.3 1.8 0.8 0.6 0.5
80	2	875 mA	120 277 347 480	235	0.0 2.4 1.0 0.8 0.6
96	2	700 mA	120 277 347 480	220	0.0 2.2 1.0 0.8 0.6
96	2	875 mA	120 277 347 480	280	0.0 2.8 1.2 1.0 0.7
96	2	1000 mA	120 277 347 480	315	3.2 1.4 1.1 0.8
96	2	1225 mA	120 277 347 480	395	4.0 1.7 1.4 1.0

#### **PROJECTED LUMEN MAINTENANCE**

AMBIENT TEMP.	0	25,000	50,000	'TM-21-11 60,000	100,000	Calculated L70 (HOURS)
25°C / 77°C	1	0.98	0.97	0.97	0.96	>377,000

<sup>1</sup> Projected per IESNA TM-21-11

Data references the extrapolated performance projections for the 700mA base model in a 25°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

DRILL PATTERN EPA RECTANGULAR ARM (A) Compatible with Pole drill pattern B3 Config. EPA Config. EPA 4" Suggested distance from 3 @ 120° 3.0 1 1.2 top of pole 2.50" Ø5/8"·· 2 @ 90° 1.9 3 @ 90° 3.1 2X Ø5/16"·· Rectangular Arm 2 @ 180° 2.4 4 @ 90° 3.8 Ø4" Pole -Ø5" Pole -Ø6" Pole



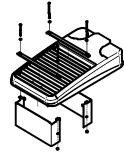
Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 800-345-4928 HUBBELL Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2019 BEACON PRODUCTS, All Rights Reserved • For more information visit our website: www.beaconproducts.com • Printed in USA APRIL 17, 2019 2:40 PM

HUBBELL Lighting

#### TENON TOP POLE BRACKET ACCESSORIES (Order Separately) (2 3/8" OD tenon)

Catalog Number	Description
SETAVP-XX	Square tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
RETAVP-XX	Round tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
TETAVP-XX	Hexagonal tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
SETA2XX	Square tenon adapter (4 at 90°) for AD - Universal Arm mounting option only
RETA2XX	Round tenon adapter (4 at 90°) for AD3 - Universal Arm mounting option only
TETA2XX	Hexagonal tenon adapter (3 at 120°) for AD - Universal Arm mounting option only

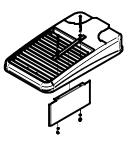
#### HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES



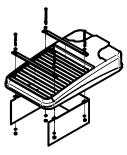
HSS/EVP-L/90-FB/XXX

90° shield front or back

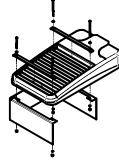
(2 shields shown)



HSS/EVP-L/90-LR/XXX 90° shield left or right (1 shield shown in left orientation)



HSS/EVP-L/270-FB/XXX 270° shield front or back (1 shield shown in back orientation)



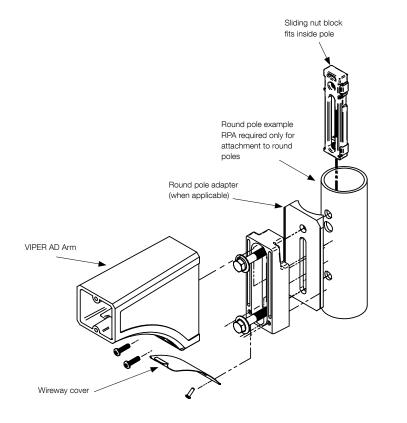
HSS/EVP-L/270-LR/XXX 270° shield left or right (1 shield shown in right orientation)

Compatible with pole drill pattern S2

DECORATIVE ARM (AD)

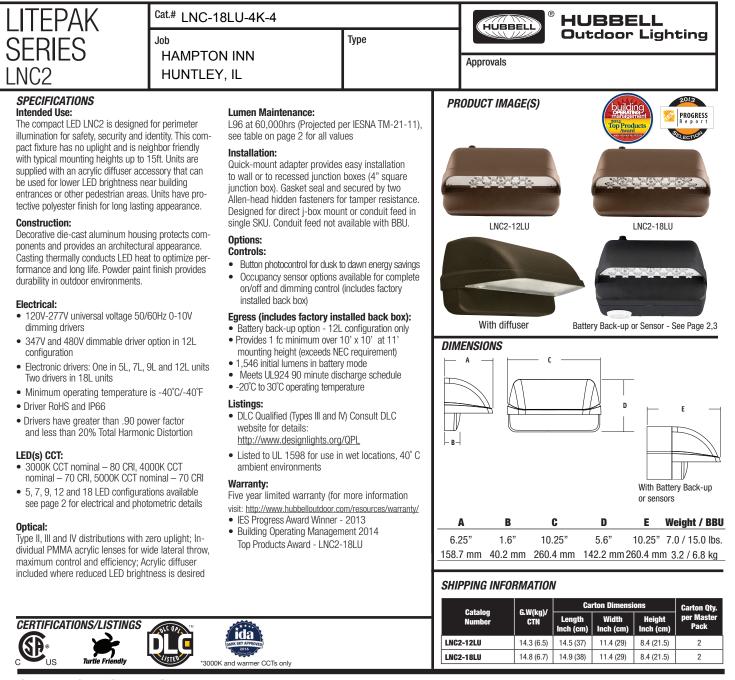
HSS/EVP-L/360/XXX Full shield (1 shield shown)

#### AD ARM MOUNTING INSTRUCTIONS









#### **ORDERING INFORMATION - ORDERING EXAMPLE: LNC2-12LU-5K-3-1**

LNC2	-				-	-	-	•		-	
SERIES	NUMB	ER OF LEDS	VO	OLTAGE 7		ССТ	IES DISTRIBUTION		FINISH		OPTIONS
LNC2 LNC2	5L	5 LEDs	U	120V-277V	<b>3K</b> <sup>2</sup>	3000K nominal	2 <sup>2</sup> Type II		1 Bronze	PC	Photocontrol
	7L	7 LEDs	1	120V		80 CRI	3 Type III		2 Black	BBU <sup>1,6</sup>	Integral battery for
	9L	9 LEDs	2	208V	4K	4000K nominal	4 Type IV		3 Gray		12L only (must specify
	<b>12L</b> <sup>3</sup>	12 LEDs	3	240V		70 CRI	4 1900		4 White		120V or 277V voltage in voltage category)
	18L	18 LEDs	4	277V	5K	5000K nominal 67 CRI			5 Platinum		rated for -20°C to 30°C
	12L5	12 LEDs, 480V	5	480V (12L only)	AM	Amber (590 µm					Programmable motion sensor, factory default
	12LF	12 LEDs, 347V	F	347V (12L only)		available for "Turtle Friendly"/observatory applications, 350 mA					dimming is 10% light output
<sup>1</sup> Battery backup only ava		odels, not available fo	r Canada			(18L only versions)		S	PECIFY SCP	HEIGHT	
<sup>3</sup> Replace U with 1 for 120	<sup>2</sup> Does not qualify for DLC <sup>3</sup> Replace U with 1 for 120V or 4 for 277V for 12L with BBU <sup>4</sup> Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming							8F	Up to 8ft mo	unt height	
<ul> <li>Must order minimum of with automatic daylight</li> <li><sup>5</sup> PC option not applicable</li> </ul>	calibration and o	different time delay s			υια αιμιμιοί	J		20F	Up to 20ft m	ount height	

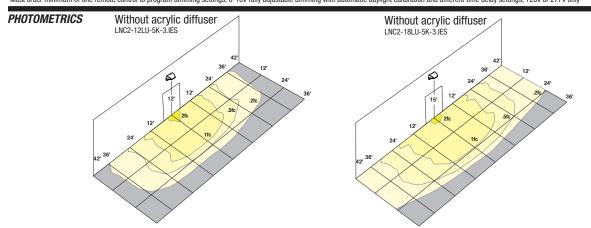
<sup>6</sup> BBL and motion sensor ontions cannot be combined



HUBBELL Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000 Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2017 HUBBELL OUTDOOR LIGHTING, All Rights Reserved • For more information visit our website: www.hubbelloutdoor.com • Printed in USA

#### **REPLACEMENT PART/ACCESSORIES**

CATALOG NUMBER	DESCRIPTION					
93044013	Frosted comfort shield, improves uniformity with only 5% lumen reduction					
SCP-REMOTE' Remote control for SCP option. Order at least one per project to program and control fixtures						
BB-GEO-XX	BB-GEO-XX Back box with 4 - 1/2" threaded conduit holes, XX = specify finish, eg. Dark Bronze - DB					
LNC2-SCBB-XX Plate to be used with GEO-BB-XX surface conduit box, XX=finish (see page 3)						
•Must order minimum of one rem	ote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time					



#### PERFORMANCE DATA

FENFONMANGE DATA									
		5K (5000K nominal, 70 CRI)		4K (4000K nominal, 70 CRI)		3K (3000K nominal, 80 CRI)			
# 0F	DRIVE	SYSTEM	DIST.						
LEDS	CURRENT	WATTS	TYPE	LUMENS	LPW <sup>1</sup>	LUMENS	LPW <sup>1</sup>	LUMENS	LPW <sup>1</sup>
			2	1,150	88.5	1,052	81	883	68
5		13W	3	1,132	87	1,077	83	833	64
			4	1,146	88	1,053	81	849	65
			2	1,515	89	1,369	80.5	1,272	75
7		17W	3	1,500	88	1,539	90.5	1,392	82
			4	1,557	91.5	1,535	90	1,425	84
	STD.		2	2,069	94	2,033	92	1,588	72
9	(700mA)	22W	3	2,024	92	1,989	90	1,623	74
			4	2,095	95	2,059	93.5	1,680	76
			2	2,869	102.5	2,465	88	2,047	73
12		28w	3	2,868	102.5	2,662	95	2,160	77
			4	2,716	97	2,715	97	2,104	75
			2	4,166	97.5	3,631	85	3,304	77
18		42.7w	3	4,106	96	3,806	89	3,128	73
			4	3,995	93.5	3,998	93.5	3,122	73

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application. LNC2-12L battery mode produces 1,546 initial lumens. Meets UL924 90 minute discharge pattern.

#### **PROJECTED LUMEN MAINTENANCE**

		OPERATING HOURS						
Ambient		TM-21-11 <sup>1</sup>						
Temp.	0	25,000	50,000	L96 60,000	100,000	(hours)		
25°C / 77°F	1.00	0.98	0.97	0.96	0.95	>791,000		
40°C / 104°F	0.99	0.98	0.96	0.96	0.94	>635,000		

1. Projected per IESNA TM-21-11 \* (Nichia 219B, 700mA, 85°C Ts, 10,000hrs) Data references the extrapolated performance projections for the LNC-12LU-5K base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

#### ELECTRICAL DATA

ELECTRICAL DATA							
	DRIVE CURRENT	INPUT VOLTAGE	CURRENT	SYSTEM POWER			
# OF LEDS	(mA)	(V)	(Amps)	(w)			
7		120	-	18			
1		277	-	18			
9		120	0.183	22			
9		277	0.09	22.1			
		120	0.24	28.9			
12	STD. (700mA)	277	0.10	27.7			
12		347	0.10	33.7			
		480	0.06	28.9			
18		120	0.35	41.0			
10		277	0.15	41.5			
18 Amber		120	2.68	32.0			



HUBBELL Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000 Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2017 HUBBELL OUTDOOR LIGHTING, All Rights Reserved • For more information visit our website: www.hubbelloutdoor.com • Printed in USA

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

	ENAIUNE	
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99

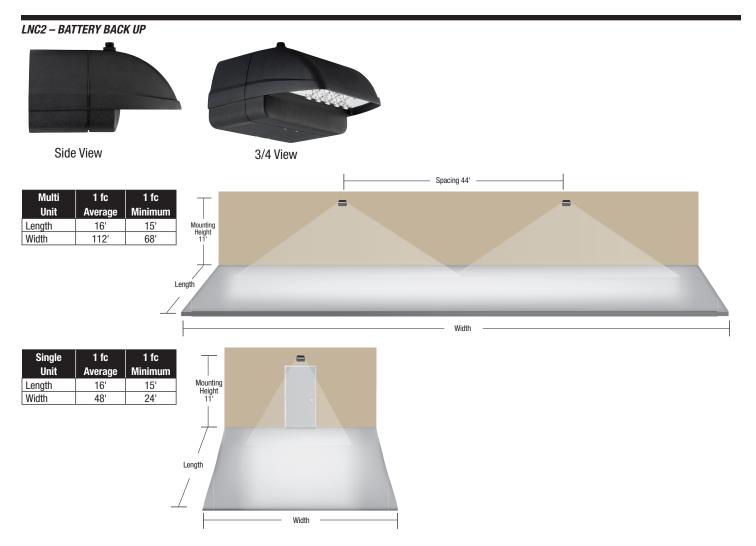
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

#### MOTION SENSOR OPTION



Sensor offers greater control and energy savings with SCP programmable sensor with adjustable delay and dimming levels (Factory default is 10%)

Visit: http://www.hubbelllighting.com/solutions/controls/ for control application information



Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11' Diagrams for illustration purposes only, please consult factory for application layout.

#### LNC2-SCBB-XX SURFACE CONDUIT BACK PLATE



LNC2 FIXTURE





LNC2-SCBB-XX and BB-GEO-XX SHOWN ATTACHED TO FIXTURE





LITEISTRY 6" ROUND DOWNLIGHT

## **FEATURES**

- 6" architectural LED downlight delivering 600 9000 lm
- Four beam distributions from 0.3 to 1.1 Spacing Criteria
- Quiet reflector appearance with superior 50° optical cutoff
- 2700K 5000K, 80+ and 90+ CRI options
- Available for New Construction (non-IC), Retrofit (non-IC), IC and Chicago Plenum applications
- Variety of dimming protocol options including 0–10V, DALI, DMX, Lutron Forward Phase, and EcoSystem
- NX Distributed Intelligence™ wired and wireless controls capability available



## CONTROL TECHNOLOGY

## NX DISTRIBUTED

## SPECIFICATIONS

#### CONSTRUCTION

- Standard Non-IC. Chicago Plenum, IC and Retrofit options
- · New Construction: Painted black durable steel platform with pre-installed bar hangers
- Retrofit: Die cast aluminum mounting ring with 5-axis adjustable junction box
- · Retrofit housing allows below ceiling installation without removing existing fixture
- · Pre-wired junction box with snap-on covers for easy access
- · Snap-in connection from driver compartment allows easy installation
- Light Engine connections use plenum rated (CMP) cable

#### OPTICS

- Visually pleasing 50° cutoff to source and source image
- The light distribution is free of distracting bright spots or pixelation and the perimeter has a smooth transition
- · Optical grade silicone lens integral to light engine
- · High purity spun aluminum reflector, self-flanged
- · Flush Mount flange option with mud-in ring available
- · Large selection of anodized finishes and colors
- · Painted cones and flange options available

EL	EC1	ΓRI	CAI

- · Chip-on-board LED with 2 SDCM
- Multiple CCTs, 80+ or 90+ CRI
- Long LED life: L90 at >55,000 hours (TM-21)
- Universal voltage 120V-277V driver, 347V optional
- UL Class 2, inherent short circuit and overload protection, RoHS compliant
- Flicker free 0-10V dimming with 1% or <1% performance
- DALI, DMX, and Lutron Forward Phase and EcoSystem options
- NX or Lutron Vive control options available
- Integral and remote controller and battery pack options available
- Refer to additional spec sheets for information on SpectraSync™ Tunable White or Dim-to-Warm or PowerHUBB™ PoE enabled solutions

#### INSTALLATION

- Accommodates ceiling thickness up to 2" (SL, ML, HL); up to 1.25" (VL, XL)
- · Universal adjustable mounting brackets also accept 0.5" EMT conduit or 1.5" or 0.75" lathing channel (by others) or Prescolite accessory bar hangers (B24 or B6).
- Light Engine/Driver fully serviceable from above or below the ceiling

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## LITEISTRY



#### RELATED PRODUCTS

Family

8 **3" LITEISTRY** Family

8 4" LITEISTRY 8 <u>6" LITEISTRY</u> Family

#### CERTIFICATIONS

- cCSAus certified to UL 1598
- For ≥70L: Marked spacing required 36" fixture center to center; 36" fixture center to building member; 0.5" above fixture
- Suitable for wet locations, covered ceiling
- EM/EMR: Certified under UL 924 standard for emergency lighting and power equipment
- · Approved for 8 (4 in/4 out) No. 12AWG conductors rated for 90°C through wiring
- ENERGY STAR<sup>®</sup> certified models available (See list and additional information on page 8)

#### WARRANTY

- 5 year warranty
- See HLI Standard Warranty for additional information

KEY DATA				
Lumen Range	600-9000			
Wattage Range	8-99			
Efficacy Range (LPW)	94-104*			
Reported Life (Hours)	L90 / >55,000			
Input Current (mA)	65-825 (120V)			

\*Based on Specular, 35K, 80 CRI





DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

Example: LTR-6RD-H-SL10L-DM1-LTR-6RD-T-SL35K8MDS

## ORDERING GUIDE

#### CATALOG #

#### HOUSING

LTR-6RD-H	-	-				-										
Aperture/Shape	e/Function	Lume	en Package	Lume	n Output		Driver (	Options	3		Control	Options	Vol	tage	Housin	g Options <sup>11</sup>
LTR-6RD-H	6" Round Downlight	SL	Standard Lumen	06L 10L	600 1000		DM1 DM01		Dimming to ' Dimming to ·		NXE	NX Enabled, Dual SmartPorts <sup>4</sup>		tandard ?0-277V	CP IC	Chicago Plenum <sup>9</sup> IC rated <sup>10</sup>
	New Construction			15L	1500	_	DMX		/ith RDM	< 1/0	NXWE	NX Wireless	34	347V <sup>8</sup>	EM	Emergency
LTR-6RD-RFH	Housing 6" Round	ML	Medium Lumen	20L 25L	2000 2500		DALI		ng to < 0.1% <sup>a</sup> Vimming to 19		NXWD	Enabled <sup>4</sup> NX Wireless				Battery Pack with integral
	Downlight Retrofit Housing <sup>1,7</sup>			30L	3000	_	2DM	Lutron	Hi-Lume 2-v	vire		Enabled, Dual SmartPorts <sup>4</sup>				test switch and indicator light
LTR-6RD-	6" Round Downlight	HL	High Lumen	35L 40L	3500 4000				ng to 1% (120 rd Phase onl		LV	Lutron Vive Enabled.			EMR	Emergency Battery Pack with
RFHW	Retrofit Housing	VL	Very High	45L 50L	4500 5000	-	EDM		Hi-Lume stem Dimmir	ng		0-10V (requires 0-10V driver)				remote test switch and indicator light
	(for Wide Diameter) <sup>1,7</sup>		Lumen	55L 60L	5500 6000			to 1% <sup>3</sup>			LVE	Lutron Vive			DTS	Device Transfer
		XL	Extra high Lumen <sup>15</sup>	70L 80L	7000	-						Enabled, EcoSystem, (reguires EDM)			GTD	Switch Generator
				90L	9000							(,			F	Transfer Device Fuse
TRIM	· · · · · · · · · · · · · · · · · · ·															
Aperture/Shape	e/Function		Lumen Pa	ackage		CCI	Г	CI	RI	Distr	ibution					
	" Round Downlight	9		ndard Lu		27K			80+CRI	NR	Narrow	(0.3 SC)				
E	ngine/Trim Asseml	bly	-	dium Lur h Lumer	-	30k 35k		5	90+CRI	MD WD	Medium Wide (C	1 (0.6 SC)				
				y High L ra High L		40k 50k				xw	`	ide (1.1 SC)				
TRIM CONTIN	UED			anight		501	<b>、</b> 5000									

Reflec	tor Finish	Reflec	ctor Color	Flang	e Color Options		Low	er Trim Options	Refle	ector Options
	sh not applicable with d reflectors (WC or B		Standard Clear	Stanc	lard matches reflecto	or color	EM	Pre-punched reflector for	AM	Antimicrobial Coating <sup>6</sup>
,		CG	Champagne Gold	WT	White Flange⁵			EM integral test switch and indicator		
S	Specular	BL	Black	BT	Black Flange⁵					
SS	Semi-Specular	LW	Light Wheat				FM	Flush Mount Mud-in Ring <sup>12</sup>		
MFC	American Matte™	PW	Pewter				WF	Wide Flange		
VS	Softglow®	wc	Painted White Cone and Flange							
VSS	SoftSheen™	BC	Painted Black Cone and Flange							
						Notes:	H and R	EHW available up to 301 : not avai	lahle wi	th Controls or Housing optic
				RFH and RFHW available up to 30L; not available with Controls or Housing op     5000K available in 80+ CRI only.						an controls of flousing optic
Ad	ccessories			3 2DM, EDM, DMX available in 10L-35L. DM01, DALI not available on >55L.						ot available on >55L.
B24 Set of two (2) 24" bar hangers for T-bar ceilings <sup>14</sup>		2) 24" bar hangers for T-bar	4 NX requires DM1 driver option, not available on >60L.							
		ceilings <sup>14</sup>	, .	5 WT not needed for WC, BT not needed for BC.						
_			and the second for a setting of the second					ctor or WC only, consult factory fo		
			par hangers for ceiling joist up to					t for compatibility with existing ap		
	24" (		14	8 347V requires DM1 driver option; available 10L - 60L not available with C					not available with Controls	

- GTD, DTS, EM, EMR.
- 9 CP available up to 20L; not available with DMX, Controls, or EMR options.
- 10 IC available up to 20L; not available with Controls options.
- 11 Housing options (except Fuse) not available in combination.
- 12 Flush Mount Flange (FM) requires FMR accessory (sold separately).
- 13 DM1 on >60L is 0-10V to 5% dimming.
- 14 Not for use with Retroft housings (RFH/RFHW)
- 15 XL (70L-90L) require marked spacing. See line art for more details.

FMR6-R

LiteGear

LPS Series

Flush Mount Mud-In Ring, 6" Round

LiteGear® Inverter, 125VA-250VA

LightPower Micro-Inverter, 20VA-55VA





DATE:	LOCATION:
TYPE:	PROJECT:

## CONTROLS

#### NX Distributed Intelligence<sup>™</sup> Lighting Controls:

Supports applications in a variety of deployment options- wired, wireless, hybrid. Integrates with and enables a wide array of luminaires including those with SpectraSync<sup>™</sup> Color Tuning Technology.

<b>NX</b> R	ISTRIBUTED
-------------	------------

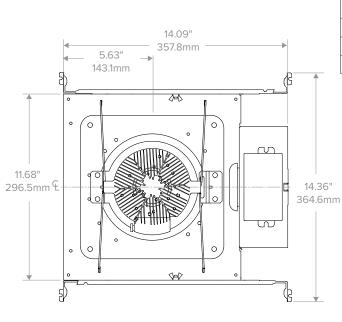
	NX INTEGRATED CONTROLS REFERENCE							
NX Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0–10V Dimming	On/off Control	Bluetooth® App Programming
NX Networked	NX Networked – Wired							
NXE	N/A	Yes	Yes	No	No	Yes	Yes	Requires <u>NXBTC/R<sup>1</sup></u>
NX Networked	I – Wireless							
NXWE <sup>2</sup>	N/A	Yes	Yes	No	No	Yes	Yes	No <sup>3</sup>
NX Networked	NX Networked – Wired/Wireless							
NXWD	N/A	Yes	Yes	No	No	Yes	Yes	Requires <u>NXBTC/R<sup>13</sup></u>

1 NXBTC/R needs to be plugged into an available NX SmartPort™ on the fixture network

2 Programming via App requires factory assistance

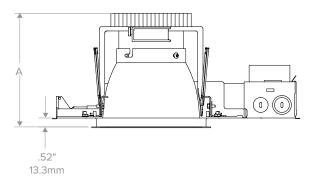
3 To program NXWE option, need to consult factory. If connected to an area controller, programming can be done from that

### DIMENSIONS



Lumen Package	"A"
06L-15L	5.90" (149.9mm)
20L-30L	6.68" (169.7mm)
35L-40L	7.86" (199.6mm)
50L-60L	9.04" (229.6mm)

Dimensional Data					
A	perture	5.75" (146.1mm)			
Flanger	Standard	7.00" (177.8mm)			
Flange:	Flush Mount	6.54" (166.0mm)			
Ceiling	Standard	6.25" 158.8mm)			
Cutout:	Flush Mount	6.75" (171.5mm)			
Ceiling	Thickness:	0.50" to 2.00" (12.7mm to 50.8mm)			



Top View

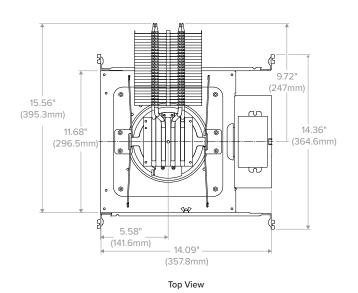
LTR-6RD-H (06L - 60L) New Construction

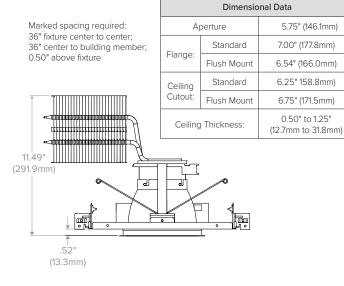




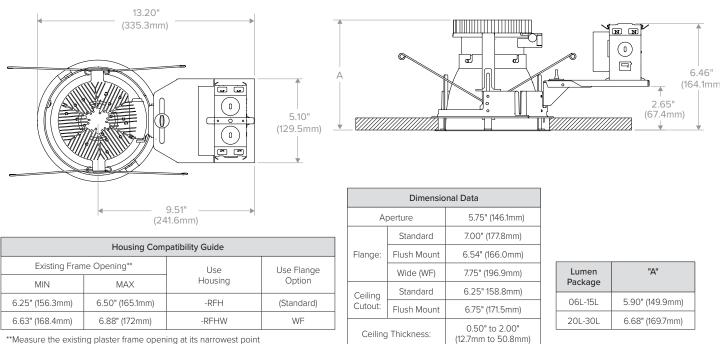
## **DIMENSIONS CONTINUED**







LTR-6RD-H (70L - 90L) New Construction



\*\*Measure the existing plaster frame opening at its narrowest point

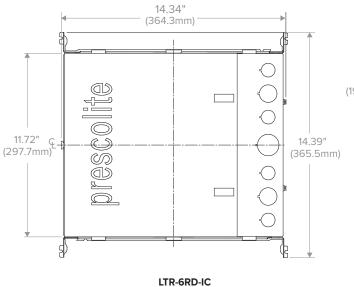
#### LTR-6RD-RFH/-RFHW

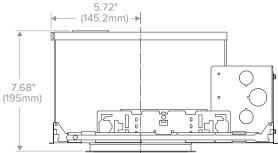




## DIMENSIONS CONTINUED







Dimensional Data					
A	perture	5.75" (146.1mm)			
Flanger	Standard	7.00" (177.8mm)			
Flange:	Flush Mount	6.54" (166.0mm)			
Ceiling	Standard	6.25" 158.8mm)			
Cutout:	Flush Mount	6.75" (171.5mm)			
Ceiling	Thickness:	0.50" to 2.00" (12.7mm to 50.8mm)			

## PHOTOMETRY

#### LTR-6RD-H-ML20L-DM1 / LTR-6RD-T-ML35K8NRS

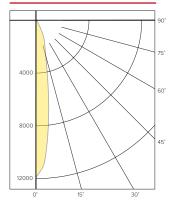
#### LUMINAIRE DATA

Test No.	19.00588
Description	2000 lm, Narrow, 3500K, 80 CRI
Delivered Lumens	2355
Watts	22.6W
Efficacy	104.0
Mounting	Recessed
Spacing Criterion	0.3
Beam Angle (FWHM)	18

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2290	97.2
0-60	2355	100.0
0-90	2355	100.0
0-180	2355	100.0

## POLAR GRAPH



#### CANDELA DISTRIBUTION

	ынывотного
Degree	Candela
0	11881
5	9399
15	2776
25	1236
35	255
45	74
55	0
65	0
75	0
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	6247
55°	0
65°	0
75°	0
85°	0
*Candela/Square Meter	

8 IES FILE

### LTR-6RD-H-ML20L-DM1 / LTR-6RD-T-ML35K8MDS

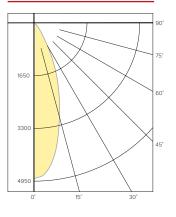
#### LUMINAIRE DATA

Test No.	19.00587
Description	2000 lm, Medium, 3500K, 80 CRI
Delivered Lumens	2265
Watts	22.6W
Efficacy	100.0
Mounting	Recessed
Spacing Criterion	0.6
Beam Angle (FWHM)	37

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2171	95.9
0-60	2262	99.9
0-90	2265	100.0
0-180	2265	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	4851
5	4619
15	3007
25	1450
35	386
45	99
55	6
65	2
75	1
85	0
90	0

## LUMINANCE DATA\*

Average
8357
624
282
231
0

\*Candela/Square Meter





## PHOTOMETRY CONTINUED

#### LTR-6RD-H-ML20L-DM1 / LTR-6RD-T-ML35K8WDS

#### LUMINAIRE DATA

Test No.	19.00585
Description	2000 lm, Wide, 3500K, 80 CRI
Delivered Lumens	2180
Watts	22.6W
Efficacy	96.1
Mounting	Recessed
Spacing Criterion	0.9
Beam Angle (FWHM)	59

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2014	92.4
0-60	2176	99.8
0-90	2180	100.0
0-180	2180	100.0

#### LTR-6RD-H-ML20L-DM1 / LTR-6RD-T-ML35K8XWS

#### LUMINAIRE DATA

Test No.	19.00586
Description	2000 lm, Extra Wide, 3500K, 80 CRI
Delivered Lumens	2139
Watts	22.7W
Efficacy	94.4
Mounting	Recessed
Spacing Criterion	1.1
Beam Angle (FWHM)	76

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1875	87.7
0-60	2134	99.8
0-90	2139	100.0
0-180	2139	100.0

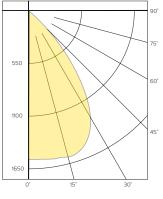
## POLAR GRAPH

POLAR GRAPH

800

1600

2400



## CANDELA DISTRIBUTION

LOCATION:

PROJECT:

DATE: TYPE:

CATALOG #

90°

75

60

Degree	Candela
0	2368
5	2371
15	2189
25	1591
35	726
45	177
55	10
65	3
75	1
85	0
90	0

CANDELA DISTRIBUTION

Candela

1547

1552

1576

1461

1007

301

9

3

1

0

0

Degree

0

5

15

25

35

45

55

65

75

85

90

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	14942
55°	1041
65°	424
75°	231
85°	0

\*Candela/Square Meter

# 8 IES FILE

## LUMINANCE DATA\*

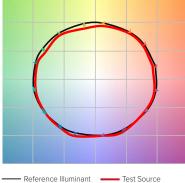
Vertical Angle	Average
45°	25409
55°	937
65°	424
75°	231
85°	0
*Candola/Equare Meter	

\*Candela/Square Meter

Option	27K8	30K8	35K8	40K8	50K8	27K9	30K9	35K9	40K9	
Multiplier	0.94	0.98	1.00	1.01	1.02	0.81	0.84	0.85	0.85	
Photometrics are published below at a nominal 3500 Kelvin, 80+ CRI. This table may be used to approximate the lumen values at different Kelvin temperatures. Power consumption would stay the same.										

### TM-30 DATA





COLOR DISTORTION GRAPHIC 3500K, 90 CRI



TEST	TEST RESULTS - 3500K								
Value	80+ CRI	90+ CRI							
R <sub>f</sub>	84	88							
R <sub>g</sub>	95	95							
CCT (K)	3411	3419							
D <sub>uv</sub>	0.0015	0.0042							
х	0.4120	0.4147							
У	0.3974	0.4052							
CIE R <sub>a</sub>	84	93							
CIE R <sub>9</sub>	11	62							







DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

#### TM-30 DATA CONTINUED

COLOR VECTOR GRAPHIC 3500K, 80 CRI COLOR DISTORTION GRAPHIC 3500K, 80 CRI



ELECTRICAL DATA

DRIVER DATA								
Input Voltage	120-277 V	347 V						
Input Frequency	50/60 Hz	50/60 Hz						
Power Factor	≥0.90	≥0.90						
THD	<20%	<20%						
EMI Filtering (FCC 47 CFR Part 15)	Class A	Class A						

\* Values for DM1 option shown, values for other dimming options may vary.

WATTAGE DATA								
Lumen Output	Nominal Lumens	WATTAGE						
06L	600	8						
10L	1000	12						
15L	1500	19						
20L	2000	23						
25L	2500	28						
30L	3000	35						
35L	3500	43						
40L	4000	52						
45L	4500	55						
50L	5000	49						
55L	5500	54						
60L	6000	61						
70L	7000	72						
80L	8000	85						
90L	9000	99						

\* Wattage may vary based on configuration and options selected





DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## ADDITIONAL INFORMATION

DIMMING COMPATIBILITY CHART							
Dimming Driver	Manufacturer	Web Link					
DM1/DM01	Lutron DVTV	http://bit.ly/11jSvZg					
DM1	Leviton AWRMG-7xx, AWSMG-7xx, AWSMT-7xx	http://bit.ly/1BJn2R9					
EDM	Lutron	http://bit.ly/1vtjHAI					
2DM	Lutron	http://bit.ly/1S4WjXK					

#### <u>DMX</u>

See instruction sheet on www.prescolite.com for connection & installation information.

#### Central Inverters

For full fixture output in back-up mode, we recommend you visit www.dual-lite.com for your Central Lighting Inverter options. Please contact your local Hubbell representative for any assistance with proper sizing and loading of your inverter selection. Central lighting inverters must be ordered separately. LiteGear: <a href="https://www.dual-lite.com/products/litegear\_lg\_series">www.dual-lite.com/products/litegear\_lg\_series</a> LPS Series: <a href="https://www.dual-lite.com/products/lps">www.dual-lite.com/products/litegear\_lg\_series</a> LPS Series: <a href="https://www.dual-lite.com/products/lps">www.dual-lite.com/products/lps</a>

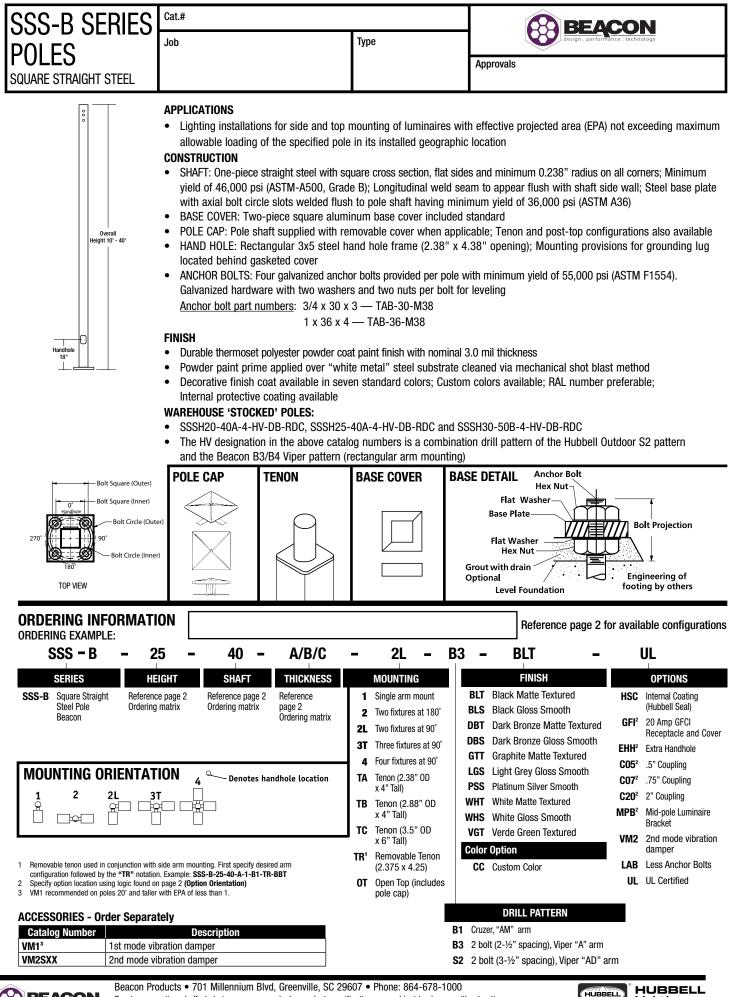
#### ENERGY STAR®

The following stock items are ENERGY STAR® certified models. (See www.energystar.gov for more details.)

ENERGY STAR <sup>®</sup> Certified Models
LTR-6RD-H-SL10L-DM1 + LTR-6RD-T-SL35K8WDSS
LTR-6RD-H-SL10L-DM1 + LTR-6RD-T-SL35K8WDSSWT
LTR-6RD-H-SL15L-DM1 + LTR-6RD-T-SL35K8WDSS
LTR-6RD-H-SL15L-DM1 + LTR-6RD-T-SL35K8WDSSWT
LTR-6RD-H-ML20L-DM1 + LTR-6RD-T-ML35K8WDSS
LTR-6RD-H-ML20L-DM1 + LTR-6RD-T-ML35K8WDSSWT
LTR-6RD-H-ML30L-DM1 + LTR-6RD-T-ML35K8WDSS
LTR-6RD-H-ML30L-DM1 + LTR-6RD-T-ML35K8WDSSWT
LTR-6RD-H-HL40L-DM1 + LTR-6RD-T-HL35K8WDSS
LTR-6RD-H-HL40L-DM1 + LTR-6RD-T-HL35K8WDSSWT
LTR-6RD-H-VL60L-DM1 + LTR-6RD-T-VL35K8WDSS

All product and company names, logos and product identifiers are trademarks <sup>™</sup> or registered trademarks <sup>®</sup> of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.





BEACON design . performance . technology © 2020 BEA

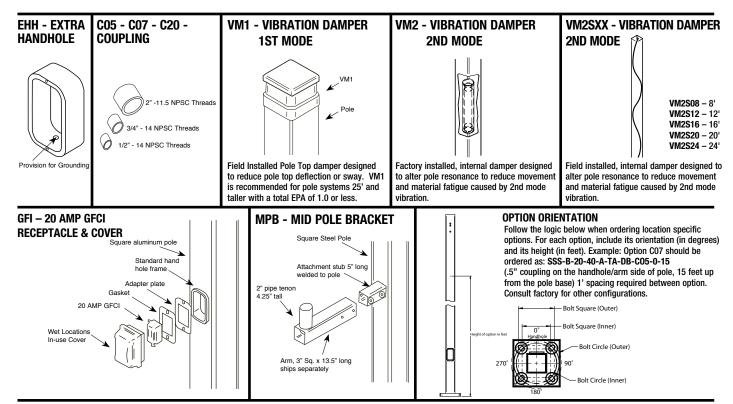
Deaton Products • 701 Minlerinnun brud, Greenwine, Sc 2907 • Priorie: 304-078-1000 Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2020 BFACON PRODUCTS. All Rights Reserved • For more information with our website: www.beaconproducts.com • Printed in USA SS-B POLES-SPEC

Lighting FEBRUARY 24, 2020 3:58 PM

## **ORDERING INFORMATION Cont.**

	н	eight	Nominal	Wall	Bolt Circle	Bolt Circle	Bolt Square	Base Plate	August - 14 - 14 - 1		Dala malakt
Catalog Number	Feet	Meters	Shaft Dimensions	Thickness	(suggested)	(range)	(range)	Square	Anchor bolt size	Bolt Projection	Pole weigh
SSS-B-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	77
SSS-B-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	90
SSS-B-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	103
SSS-B-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	116
SSS-B-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	129
SSS-B-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	142
SSS-B-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	175
		10		100"		101 101	7.07" 0.40"	10 501	0.447 007 07		450
SSS-B-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	152
SSS-B-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	171
SSS-B-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	190
SSS-B-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	209
SSS-B-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	257
SSS-B-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	304
SSS-B-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	219
SSS-B-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	243
SSS-B-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	267
SSS-B-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	327
SSS-B-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	387
			1	· · · · · · · · · · · · · · · · · · ·			1		1	1	
SSS-B-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	427
SSS-B-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	507
SSS-B-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	329
SSS-B-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	404
SSS-B-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	479
SSS-B-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	554
SSS-B-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	629
SSS-B-30-60-C-XX-XX	30	9.1	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	614
SSS-B-35-60-C-XX-XX	30	10.7	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37	12.25"	1-1/4 x 42 x 6 1-1/4" x 42" x 6"	5.0	712
SSS-B-30-60-C-XX-XX	40	12.2	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37	12.25"	1-1/4" x 42" x 6"	5.0	809

NOTE Factory supplied template must be used when setting anchor bolts. Beacon Products will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.



For more information about pole vibration and vibration dampers, please consult <a href="https://hubbellcdn.com/ohwassets/HL/outdoor/resources/literature/files/Pole\_Wind\_Induced\_Flyer\_HL00022.pdf">https://hubbellcdn.com/ohwassets/HL/outdoor/resources/literature/files/Pole\_Wind\_Induced\_Flyer\_HL00022.pdf</a> Due to our continued efforts to improve our products, product specifications are subject to change without notice.



Beacon Products • 701 Millennium Blvd, Greenville, SC 29607 • Phone: 864-678-1000 Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2020 BEACON PRODUCTS, All Rights Reserved • For more information visit our website: www.beaconproducts.com • Printed in USA SS-B POLES-SPEC



#### **ASCE7-05** WIND MAP

## FLORIDA REGION WIND MAP

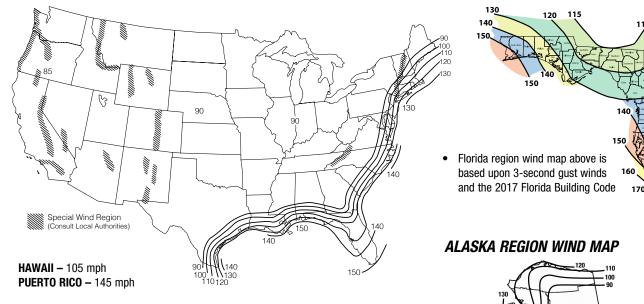
115

130

150

110

160



			Jse for all			cond gus Florida)				
Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-B-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-B-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-B-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-B-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-B-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-B-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-B-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-B-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-B-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-B-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-B-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-B-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-B-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-B-16-50-B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSS-B-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-B-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-B-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-B-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-B-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-B-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-B-20-60-B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSS-B-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-B-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-B-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-B-40-60-B	8.1	5.8	2.2	nr	NR	NR	NR	NR	NR	NR
SSS-B-30-60-C	24.3	20.5	14.6	12.2	10.2	6.8	4.2	2.2	1.3	0.5
SSS-B-35-60-C	16.6	13.5	8.6	6.6	4.9	2.1	NR	NR	NR	NR
SSS-B-40-60-C	10.6	7.9	3.7	2.1	0.6	NR	NR	NR	NR	NR

Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds										
Florida Bui	laing Coa		PA Load F		second g	just wind	speeds			
Catalog Number	115	120	130	140	150	160	170	180		
SSS-B-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9		
SSS-B-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4		
SSS-B-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6		
SSS-B-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4		
SSS-B-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4		
SSS-B-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7		
SSS-B-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR		
SSS-B-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8		
SSS-B-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6		
SSS-B-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6		
SSS-B-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9		
SSS-B-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR		
SSS-B-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR		
SSS-B-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5		
SSS-B-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9		
SSS-B-20-50-B	25.0	25.0	24.4	19.9	1 6.3	13.4	11.0	8.9		
SSS-B-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1		
SSS-B-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR		
SSS-B-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1		
SSS-B-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR		
SSS-B-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4		
SSS-B-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8		
SSS-B-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR		
SSS-B-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR		
SSS-B-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR		
SSS-B-30-60-C	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR		
SSS-B-35-60-C	7.5	5.6	2.4	NR	NR	NR	NR	NR		
SSS-B-40-60-C	1.8	NR	NR	NR	NR	NR	NR	NR		



Beacon Products • 701 Millennium Blvd, Greenville, SC 29607 • Phone: 864-678-1000 Due to our continued efforts to improve our products, product specifications are subject to change without notice. © 2020 BEACON PRODUCTS, All Rights Reserved • For more information visit our website: www.beaconproducts.com • Printed in USA SSS-B POLES-SPEC

## NOTES

#### Wind-speed Website disclaimer:

Hubbell Lighting has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third-party website provides a useful starting point for analyzing wind conditions, Hubbell Lighting has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Hubbell Lighting hac does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced website bot on timply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. http://windspeed.atcouncil.org

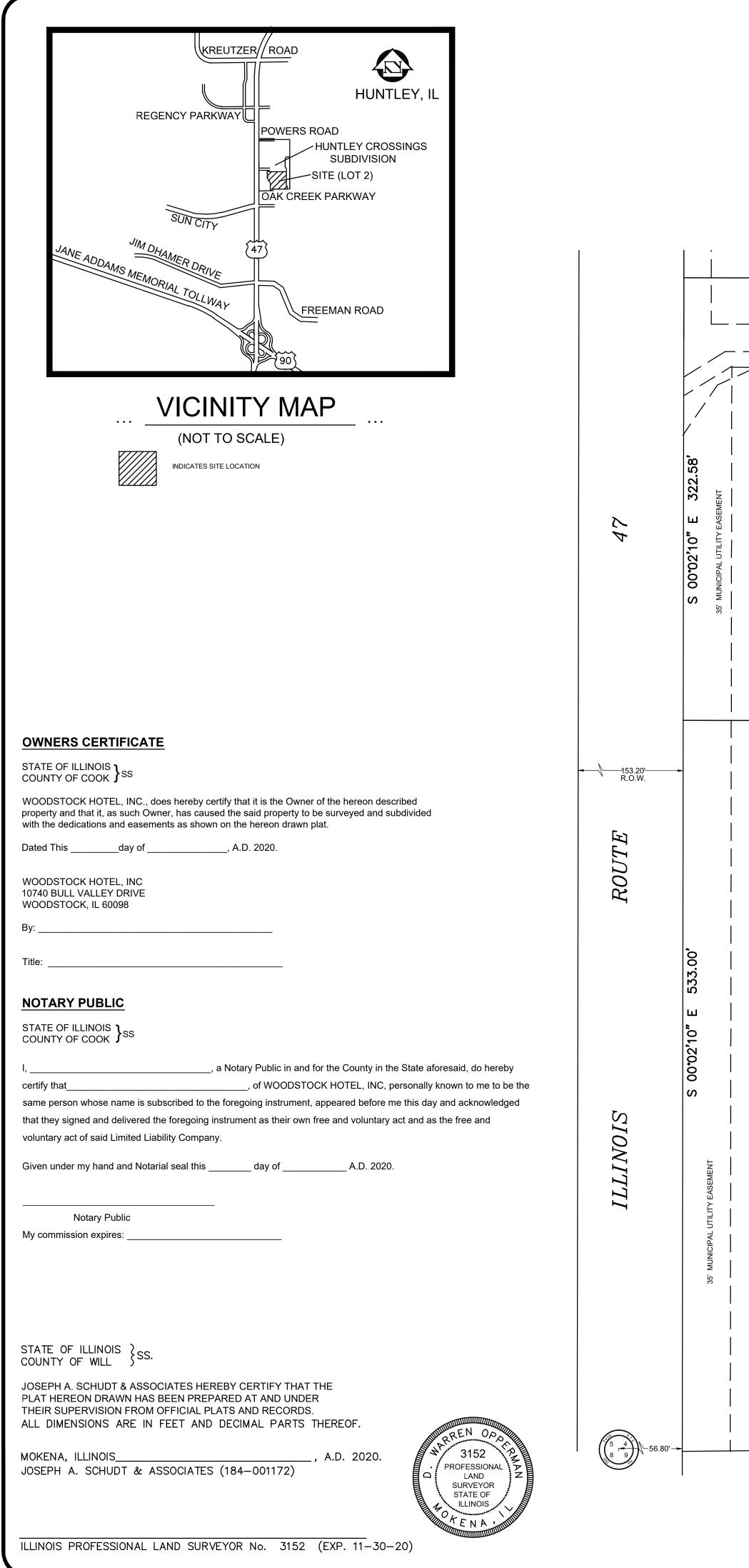
#### NOTES

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and
  cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for
  correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration
   Application Guide for environmental risk factors and design considerations. <u>https://hubbellcdn.com/ohwassets/HL/outdoor/resources/literature/files/Pole\_Wind\_Induced\_Flyer\_HL010022.pdf</u>
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.





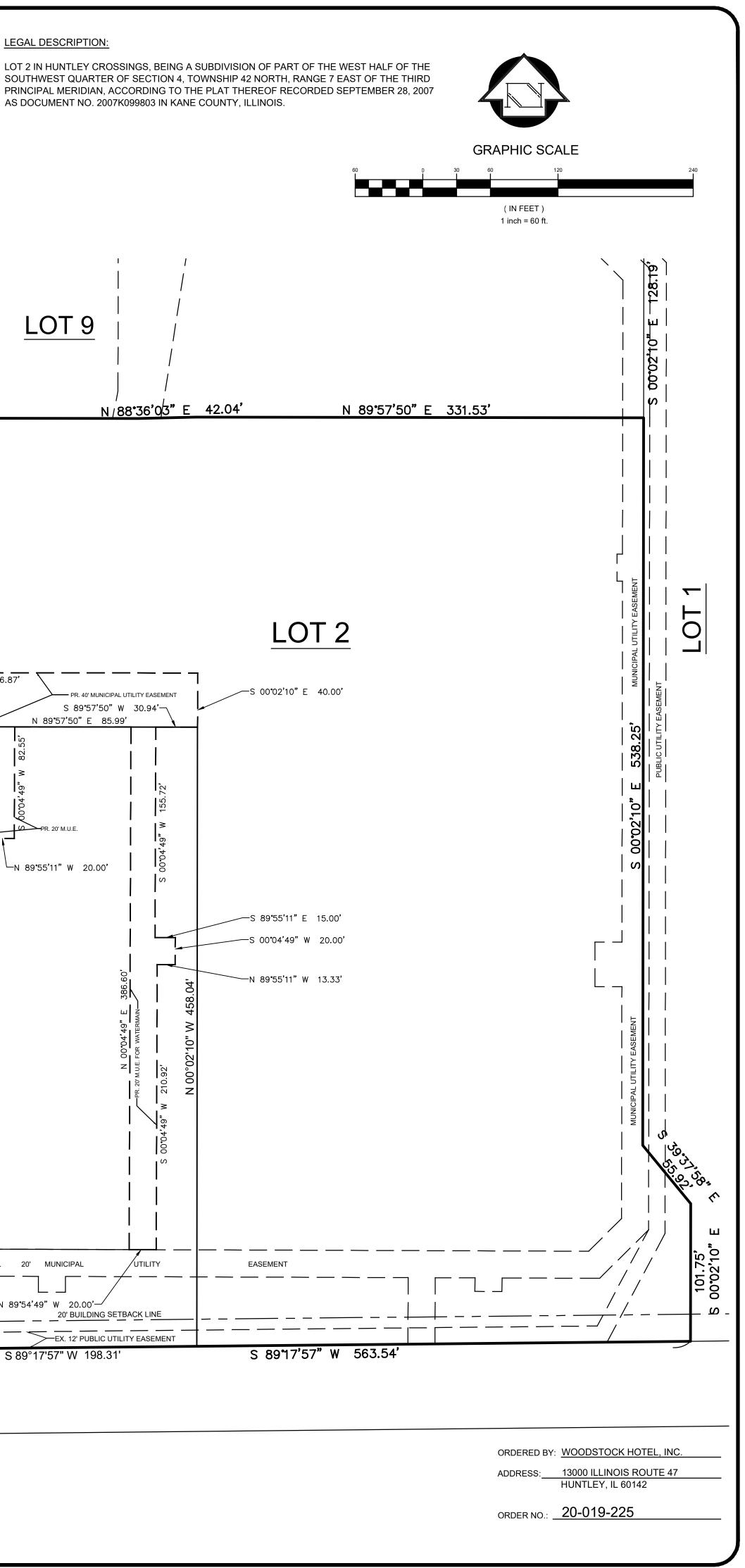


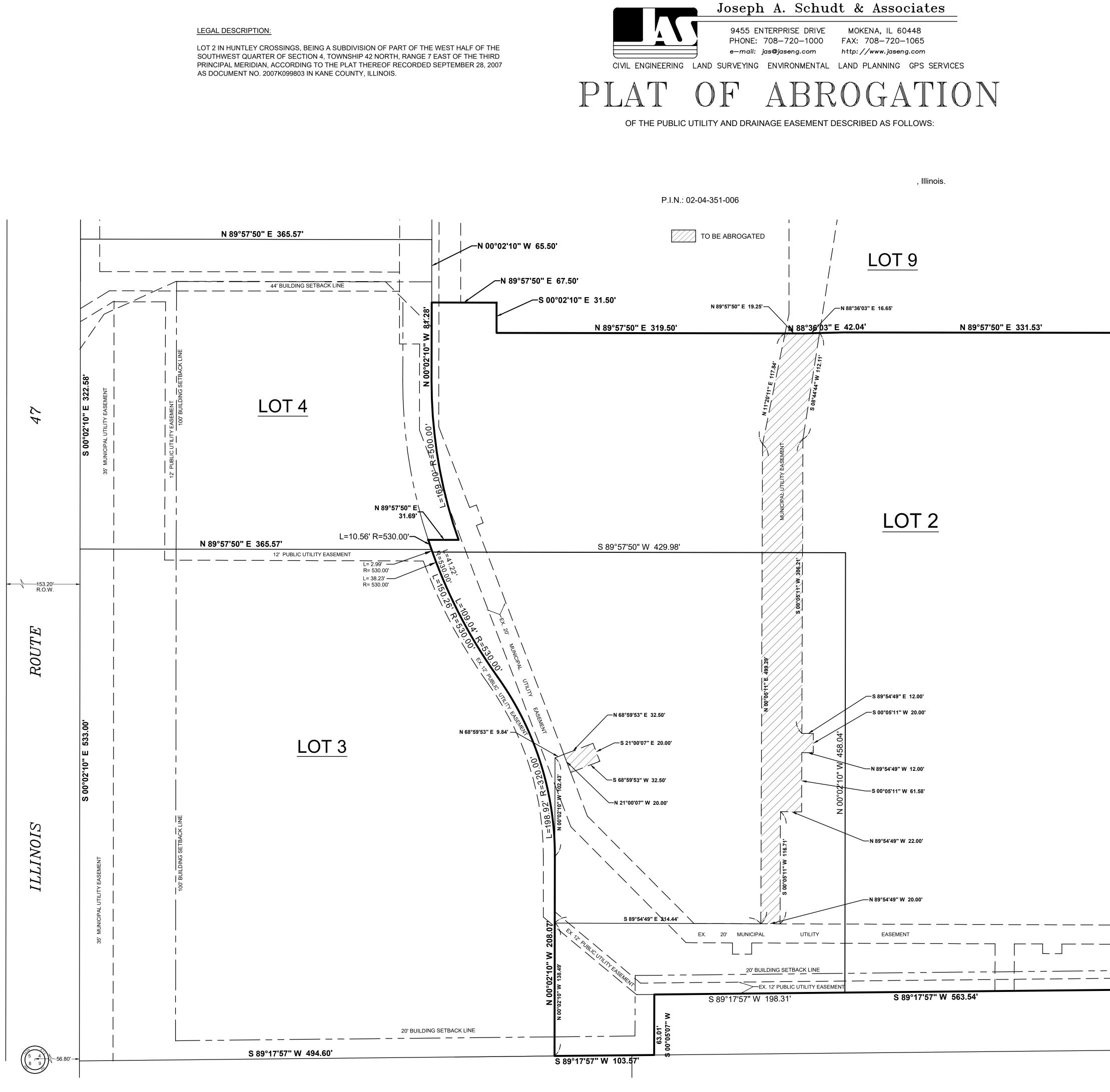
# PLAT OF EASEMENT

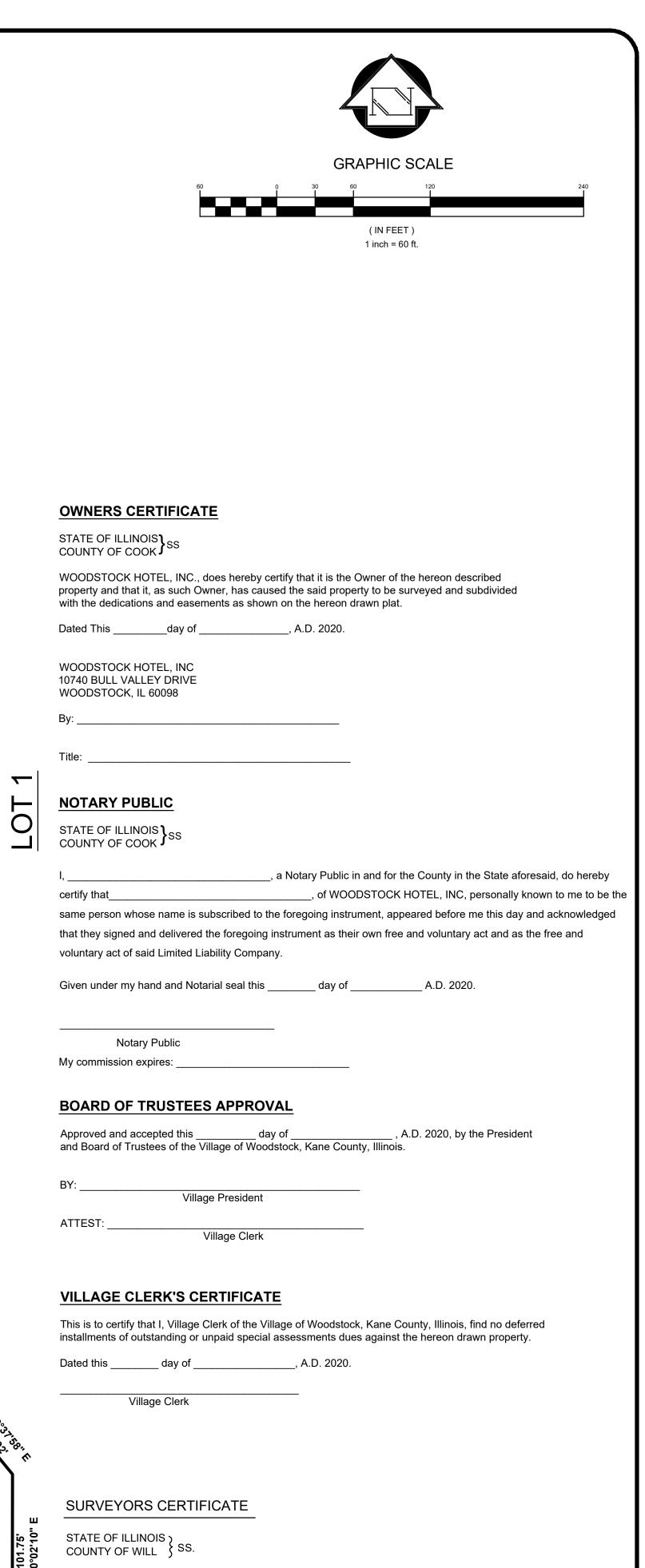
FOR WATER MAIN AND SANITARY SEWER EASEMENTS DESCRIBED AS FOLLOWS:

LEGAL DESCRIPTION:

N 89'57'50" E 365.57' <u>N 00°02'10" W 65.50'</u> LOT 9 ✓ N 89°57'50" E 31.41' -N 89°57'50" E 67.50' 44' BUILDING SETBACK LINE -S 00°02'10" E 31.50' <u>N 89'57'50" E 319.50'</u> LOT 4 ∕─S 68\*59'53" W 7.50' -N 21°00'07" W 20.00' N 89\*57'50" E 31.69**'** N 89°57'50" E 356.87' —N 68°59'53" E 7.50' L=10.56' R=530.00'-——N 23°13'46" W 30.18' N 89'57'50" E 365.57' S 89°57'50" W 429.98' 12' PUBLIC UTILITY EASEMENT S 89°57'50" W 216.96' L= 2.99' R= 530.00' L= 38.23' -----R= 530.00' PR. 20' M.U.E. └─N 89°55'11" W 20.00' /---N 68°54'15" E 25.50' -N 68°54'15" E 25.00' -S 21°05'45" E 20.00' LOT 3 -S 68°54'15" W 25.00' ∽N 21°05'45" W 20.00' S 89°54'49" E 251.94'N EX. 20' MUNICIPAL N 89°54'49" W 20.00'-S 89°17'57" W 198.31' 20' BUILDING SETBACK LINE S 8917'57" W 494.60' S 8917'57" W 103.57' σ Joseph A. Schudt & Associates 9455 ENTERPRISE DRIVE MOKENA, IL 60448 PHONE: 708-720-1000 FAX: 708-720-1065 http://www.jaseng.com e—mail: jas@jaseng.com CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES







Joseph A. Schudt & Associates hereby certify that they have surveyed the property described hereon from official plats and records, and that the plat hereon drawn is a correct representation of said survey. All dimensions in feet and decimal parts thereof.

\_, A.D. 2020.

MOKENA, ILLINOIS JOSEPH A. SCHUDT & ASSOCIATES

S

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3152

6-24-20 20-019-227

3152

PROFESSIONAL

LAND

SURVEYOR STATE OF ILLINOIS TENA