

**VILLAGE OF HUNTLEY
PLAN COMMISSION
July 13, 2020
6:30 PM
AGENDA**



1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Public Comments
5. Approval of Minutes
 - A. Approval of the May 11, 2020 Plan Commission Meeting Minutes
6. Public Hearing(s)
 - A. Petition No. 20-07.01, Spyrtos Realty Co. Inc., as petitioner, and Bakley Enterprises, Inc., as owner, 10390 Vine Street, Request is for consideration of (i) a Special Use Permit for a Car Wash in the “B-3” Shopping Center Business District and (ii) Site Plan Review, including any necessary relief, in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.
 - B. Petition No. 20-07.02, Woodstock Hotel Inc., as petitioner, and Huntley Hotels, LLC, as owner, Lot 2 of the Huntley Crossings Final Plat of Subdivision (generally located east of Route 47 and south of Powers Road), Request is for consideration of a petition (i) Amending the Preliminary Planned Unit Development and for (ii) Final Planned Unit Development in order to construct a four-story Hampton Inn Hotel in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.
7. Discussion
8. Adjournment

MEETING LOCATION
Village Board Room
10987 Main Street
Huntley, IL 60142

The Village of Huntley is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding accessibility of the meeting or the facilities, please contact Lisa Armour, Interim Village Manager at (847) 515-5200. The Village Board Room is handicap accessible.

VILLAGE OF HUNTLEY
PLAN COMMISSION MEETING
Monday, May 11, 2020
MINUTES

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CALL TO ORDER

Chairman Tom Kibort called to order the Village of Huntley Plan Commission meeting for May 11, 2020 at 6:32 p.m. The meeting was held virtually in the Municipal Complex Village Board Room at 10987 Main Street, Huntley, Illinois 60142. *In light of the COVID-19 public health emergency and the prohibition of public gathering of 10 or more, the Plan Commission conducted the meeting remotely via an online video platform, and the meeting was videotaped.*

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PLEDGE OF ALLEGIANCE

Chairman Kibort led the Pledge of Allegiance.

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ROLL CALL

PLAN

COMMISSIONERS: Commissioners Darci Chandler, Terra DeBaltz, Lori Nichols, Ron Hahn, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort.

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COMMISSIONERS ABSENT:

None

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ALSO PRESENT: Director of Development Services Charles Nordman and Development Manager Margo Griffin

4. Public Comments

None.

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5. Approval of Minutes

A. Approval of the February 24, 2020 Plan Commission Meeting Minutes

No additions or corrections were noted.

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A MOTION was made to approve the February 24, 2020 Plan Commission Meeting Minutes.

MOVED:

Commissioner Robert Chandler

SECONDED:

Vice Chair Dawn Ellison

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AYES:

Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort

NAYS:

None

ABSTAIN:

Commissioners Ron Hahn and Terra DeBaltz

MOTION CARRIED

5:0:2

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B. Approval of the March 9, 2020 Plan Commission Meeting Minutes

No additions or corrections were noted.

A MOTION was made to approve the March 9, 2020 Plan Commission Meeting Minutes.

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MOVED:	Vice Chair Dawn Ellison
SECONDED:	Commissioner Ron Hahn
AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS:	None
ABSTAIN:	None
MOTION CARRIED	7:0:0

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6. Petition(s)

A. Petition No. 20-05.01, Weber –Stephen Products LLC, as petitioner and owner, 11811 Oak Creek Parkway – Request is for approval of a Preliminary/Final Plat of Subdivision to Resubdivide Lot 1 of Weber-Stephen Plat of Consolidation.

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Chairman Kibort announced Director Nordman would be giving a PowerPoint presentation to review the petition.

Director Nordman reviewed a PowerPoint presentation.

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Director Nordman stated the petitioner is requesting approval to resubdivide Lot 1 of Weber – Stephen Plat of Consolidation into two (2) lots. The existing lot includes the Weber – Stephen manufacturing facility and vacant land to the north of the facility. The petitioner is proposing subdivide the existing lot into two lots to allow for a future conveyance of the property. Lot 1 will be ±35.5 acres and will include the existing manufacturing facility and associated parking. Lot 2 will be ±11.84 acres and will consist of the vacant land located to the north of the manufacturing facility. Both proposed lots will have frontage on Oak Creek Parkway.

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Director Nordman reviewed the zoning requirements for the petition. The subject property is zoned “BP” Business Park which requires a minimum lot area of one (1) acre (there is no minimum lot width requirement). Both proposed lots conform to the minimum lot area requirement. Furthermore, the manufacturing facility and related improvements on Lot 1 will continue to conform to the bulk standards (building and parking setbacks, building coverage, etc.) for the “BP” zoning district.

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Director Nordman stated the petitioner is requesting a motion of the Plan Commission to recommend approval of Petition No. 20-05.01, Requesting approval of a Preliminary/Final Plat of Subdivision to Resubdivide Lot 1 of Weber-Stephen Plat of Consolidation.

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Director Nordman stated staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

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1. Upon approval of the Final Plat by the Village Board, the Owner shall record the plat with the

Recorder of Kane County within three months. If not recorded within this time, the approval shall be null and void (Section 155.221(A)(5) of the Village's Subdivision Ordinance).

5 Director Nordman completed his presentation and informed Chairman Kibort that there were several people on the video connection from Weber Stephen who were available to answer questions from the Plan Commission when directed. Director Nordman also reminded the Commission this petition was not a public hearing and no swearing in was needed. Chairman Kibort thanked Director Nordman.

10 Chairman Kibort asked for representatives from Weber Stephen if they had anything to add. Ms. Liz Butler of the Law Firm of DLA Piper stated she did not have anything to add at this time, and also noted Phil Zadeik from Weber Stephen and Bill Bohne, the Civil Engineer, were on the call to answer questions.

15 Chairman Kibort asked the Plan Commission members for comments. All Commissioners were in favor of the resubdivision plans.

20 Chairman Kibort inquired on how Weber-Stephen was handling the Covid crisis and the economy. Phil Zadeik responded they had a temporary 2-week shutdown, but were quickly up and running with new health protection protocols in place. There were no other questions.

25 **A MOTION was made to approve Petition No. 20-05.01, Weber –Stephen Products LLC, as petitioner and owner, 11811 Oak Creek Parkway – Request is for approval of a Preliminary/Final Plat of Subdivision to Resubdivide Lot 1 of Weber-Stephen Plat of Consolidation., subject to the following conditions:**

- 1. **Upon approval of the Final Plat by the Village Board, the Owner shall record the plat with the Recorder of Kane County within three months. If not recorded within this time, the approval shall be null and void (Section 155.221(A)(5) of the Village's Subdivision Ordinance).**

30 **MOVED: Commissioner Ron Hahn**
35 **SECONDED: Vice Chair Dawn Ellison**
AYES: Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS: None
ABSTAIN: None
MOTION CARRIED 7:0:0

40 6. Petitions/Public Hearings (continued):

- 45 B. Petition No. 20-05.02, Amin Dhanani on behalf of HZ Props RE, Ltd, as petitioner, and Ruby-02-HNTLYCMRCL, LLC, owner, Lot 3 in Huntley Crossings, Phase 2, Plat 1 (generally located east of Route 47 and north of Regency Parkway) – Request is for approval of (i) a Final Planned Unit Development, including any necessary relief and (ii) a Special Use Permit for a Drive-Through for a Popeyes Louisiana Kitchen in accordance

with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

5 Chairman Kibort announced Manager Griffin would be giving a PowerPoint presentation to review the petition.

Manager Griffin reviewed a PowerPoint presentation.

10 Manager Griffin stated HZ Props RE, Ltd., on behalf of Popeyes Louisiana Kitchen (“Popeyes”) has submitted plans for a proposed 2,454 square foot restaurant with a drive-through to be located on Lot 3 of Huntley Crossings, Phase 2, Plat 1. The subject site is a ±1.14-acre lot located near the northeast corner of Route 47 and Regency Parkway, between O’Reilly Auto Parts and Panda Express.

15 Manager Griffin discussed the relevant underlying documents associated with the lot in question. The Rubloff Development Phase II and III Annexation Agreement, Preliminary/Final Plat of Subdivision and Preliminary Planned Unit Development for Huntley Crossings – Phase 2 established the framework for development within the subdivision. The Second Amendment to the annexation agreement recorded in 2017 included increasing the number of drive-through restaurants allowed (from two to four) within the subdivision and revised the parameters for signage (i.e. Outlot sign height increased from six (6’) feet to
20 ten (10’) feet and may be installed within ten (10’) feet from the property line rather than fifty (50’) feet). The Final Planned Unit Development plan for each lot requires review and approval by the Plan Commission and Village Board and adherence to the Village’s Commercial Design Guidelines.

25 Manager Griffin discussed the process which staff reviewed the Popeyes Drive-Through petition and the overall Planned Unit Development, as follows:

Site Plan

30 Manager Griffin reviewed the site plan. The Popeyes site plan proposes a 2,454 square foot building with parking for 20 vehicles and includes cross access to the parking lot for O’Reilly Auto Parts. The building is oriented towards Route 47 and the main entrance to the restaurant is located on the south elevation of the building. Access to the site will be provided from the private access road at the rear of the site, in addition to the cross access with O’Reilly Auto Parts to the south. The site plan also includes a sidewalk connecting the walk at the rear access road to the main entrance on the south elevation.

Parking

35 Manager Griffin stated the Second Amendment Rubloff Development Phase II and III Annexation Agreement requires drive through eating establishments of 2,500 square feet or less to provide five (5) parking spaces per 1,000 square feet of floor area, thereby requiring thirteen (13) parking stalls for the
40 subject site. Manager Griffin stated the proposed twenty (20) parking spaces exceed the required number of parking spaces required for the restaurant. The site plan also includes parking stalls that are 10 feet in width and 19.5 feet in depth, which exceed the minimum dimensions required by the Zoning Ordinance. The width of the parking lot drive aisle is also greater than required and will measure 25.5 feet in width.

Building Elevations

45 Manager Griffin reviewed the elevations. The proposed building elevations consist of three (3) shades of brick (Aspen White, Stone Grey, and Flagstaff) and composite wood accent material surrounding the window on the west elevation. Canopies will be located over all storefront windows and over the drive-

through pick-up area. Faux shutters will be located on the north and south elevations and gooseneck style light fixtures will be installed on all four elevations. The trash enclosure will be constructed of Stone Grey colored brick and will be connected to the rear of the building with a wrought iron gate.

5 *Landscaping*

Manager Griffin stated the landscape plan submitted for the site features foundation plantings, and one (1) shade tree internal to the site and fourteen (14) shade trees around the perimeter. Tree species include three (3) Ohio Buckeye, four (4) Chicagoland Hackberry, six (6) Chinkapin Oak, one (1) Bold Cypress, and one (1) American Basswod. The landscape plan includes a variety of plantings, including four (4) varieties of evergreen shrubs, four (4) species of deciduous shrubs, three (3) types of ornamental grasses, and three (3) species of perennials. The proposed plantings and trees meet or exceed the Village’s Landscape Ordinance and Commercial Design Guidelines.

15 *Site Lighting*

The petitioners propose installation of six (6) decorative lantern-style parking lot light fixtures (4 single and 2 back-to-back), which match the lighting in the Panda Express parking lot to the north. The restaurant also utilizes decorative gooseneck wall mounted fixtures on all four sides of the building. The Village’s Zoning Ordinance requires parking lot lighting to have an average minimum illumination of two foot-candles within the parking lot and a maximum of 0.5 foot-candles at the property lines. The photometric plan meets the Village standards.

20 *Signage – Ground*

Manger Griffin reviewed slides of the signage. The proposed ground signage for the restaurant consists of a two-sided, 3’ x 7’ (21 square foot/side), ten (10’) foot tall monument sign adjacent to Route 47, and will be constructed of brick to match the building. The proposed monument sign meets the commercial design standards and Huntley Crossings Annexation Agreement. The sign includes an Electronic Message Center, which is prohibited by the Village’s Sign Regulations; therefore, the message board will require relief to be approved by the Village Board.

30 *Signage – Wall*

Manager Griffin stated the proposed Popeyes sign plan includes five (5) wall signs. The proposed wall signage includes “Popeyes Louisiana Kitchen” signs on the west elevation, facing Route 47, and on the east elevation facing the access drive. The restaurant’s round “building seal” logo will be located on both the north and south elevations. The south elevation also includes a non-illuminated acrylic wall sign stating “love that chicken”.

35 A slide with the proposed wall sign package breaks-down was reviewed.

Building Elevation	Number of signs allowed	Number of signs proposed	Square footage of signs allowed	Square footage of signs proposed	Relief required
West (front)	1	1 ⁽¹⁾	26 SF Total for all signs	52.55	None
East (rear)	0	1 ⁽¹⁾	--	52.55	For one (1) sign
North (side) drive-thru	0	1 ⁽²⁾	--	7.07	For one (1) sign

South (side)	0	2 (2 &3)	--	7.07 and 94.92	For two (2) signs
Total	1	5	26 SF	214.16	Four (4) addl. Signs and addl. 188.16 square feet

The three (3) types of proposed walls signs are:

- (1) "Popeyes Louisiana Kitchen" sign, illuminated – 52.55 sf
- (2) "Popeyes" circle building seal sign, illuminated – 7.07 sf
- (3) "Love That Chicken" acrylic FCO letters, non-illuminated, 94.92 sf

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Required Relief

Manager Griffin stated the proposed plans require the following relief:

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- 1. The Sign Ordinance allows one wall sign per tenant or one per street frontage. The subject site has street frontage only on Route 47, therefore, allowing one (1) wall sign by right. Relief is required to allow four additional wall signs and an additional 188.16 square feet of wall signage. Such relief is consistent with relief approved for McDonald's, Panda Express, and Burger King.

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- 2. The ground sign includes an Electronic Message Board, which is prohibited by the Village's Sign Regulations; therefore, the message board will require relief.

Special Use Permit

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Manager Griffin reviewed the regulations and Special Use standards for the proposed drive-through restaurant. The Amended Annexation Agreement for the subject property limits drive-through restaurants to no more four (4) within the Phase II outlots. The proposed Popeyes restaurant with drive-through represents the second of these establishments to develop on an outlot within the Huntley Crossings Phase II development, with the Panda Express restaurant adjacent to the north being the first.

25

Per the Huntley Zoning Ordinance, a Special Use Permit is required for drive-through food service in the "B-3" Shopping Center Business District and when reviewing a Special Use Permit, the Plan Commission must consider the standards identified in Section 156.068(E) of the Zoning Ordinance. No Special Use Permit shall be recommended or granted pursuant to Section 156.068(E) unless the applicant establishes the following:

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Standards for Special Use Permits (1) General Standards. No special use permit shall be recommended or granted pursuant to this Section unless the applicant shall establish that:

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(a) Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.

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(b) No Undue Adverse Impact. The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.

(c) No Undue Interference with Surrounding Development. The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with

the use and development of neighboring property in accordance with the applicable district regulations.

(d) Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

(e) No Undue Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential street.

(f) No Undue Destruction of Significant Features. The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.

(g) Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

Manager Griffin referenced the petitioner's SUP qualifying statement and narrative was included in the packet information.

Village Board Concept Review

Manager Griffin stated the Village Board reviewed the conceptual plans on February 13, 2020. The following is a summary of the comments by the Village Board: A Trustee commented on the width of vehicle stacking aisle at the entrance to the drive-through and stated there was not room to pass a vehicle should someone wish to exit the drive-through.

Action Requested

Manager Griffin stated the petitioner is requesting a motion of the Plan Commission, to recommend approval of Petition No. 20-05.02, Requesting approval of (i) a Final Planned Unit Development, including any necessary relief and (ii) a Special Use Permit for a Drive-Through for a Popeyes Louisiana Kitchen in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

Manager Griffin stated staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management. The petitioner, its agents and assignees are responsible for not increasing the rate of stormwater runoff and will be required, to the extent practicable, to minimize any increase in runoff volume through "retention" and design of multi stage outlet structures.
4. The petitioner shall obtain final approval of the Landscape Plan from the Development Services Department.
5. All permanent and seasonal plantings must be replaced immediately upon decline.
6. In accordance with the Village's Commercial Design Guidelines, screens, dormers or other features are required to conceal rooftop mechanical equipment on all sides of the structure if the Development Services Department determines that the parapet walls, as proposed, do not fully

screen said equipment.

- 7. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
- 8. No building plans or permits are approved as part of this submittal.
- 9. No sign permits are approved as part of this submittal.
- 10. The electronic message board sign shall contain static messages only and shall not have movement or the appearance or optical illusion of movement, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination or the flashing, scintillating or varying of light intensity other than that provided through an automatic dimming system to control overall illumination intensity. Each message on the sign shall be displayed for a minimum of 10 seconds. The change of messages must be accomplished immediately.

Manager Griffin concluded her slide presentation, and introduced Ani Tipnis from AKA Architects, and Ryan Walter from Woolpert Engineering. Both were in attendance on behalf of the petitioner, HZ Props RE, Ltd., for the Popeyes Louisiana Kitchen with Drive Through.

Chairman Kibort thanked Manager Griffin and requested a motion to open the Public Hearing.

A MOTION was made to open the public hearing to consider Petition No. 20-05.02

MOVED:	Vice Chair Dawn Ellison
SECONDED:	Commissioner Lori Nichols
AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS:	None
ABSTAIN:	None
MOTION CARRIED	7:0:0

Chairman Kibort stated that as this public hearing, anyone wishing to testify must be sworn in and asked those wishing to please raise their right hand. He then swore in Ani Tipnis, Ryan Walter, and Manager Griffin.

Chairman Kibort asked the representatives for Popeyes if they had anything to add. Mr Tipnis stated staff had done a good job of reviewing the petition and they had nothing to add at this time, but were available for questions.

Chairman Kibort then asked for comments or questions from the Commission.

Commissioner Robert Chandler stated he likes the architectural look of the project. He stated he also drove through similar projects in Huntley and noted they had similar amount of signage. He has no problem with this project, and asked about when the ground breaking would occur. Mr Tipnis stated they planned to break ground in the fall.

Commissioner Terra DeBaltz stated she has watched the Elgin Popeyes get constructed (same developer) and she likes the look of it. Commissioner DeBaltz also commended them on the drive-

through design.

Commissioner Lori Nichols stated she liked the project and her comments had already been raised. She looks forward to the restaurant opening.

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Chairman Tom Kibort praised the design of the building, including the colors, materials, and lighting. Chairman Kibort did raise a comment on the drive-aisle width at the entrance to the drive-through and thought it could benefit from being widened. Mr. Tipnis stated they would definitely look at the design if the Commission so desired.

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Vice Chair Dawn Ellison likes the project and did not have any issues.

Commissioner Ron Hahn likes the look of the building, and that all rooftop mechanicals will be shielded by parapet walls. He is also in favor of the cross access with O'Reilly's. Commissioner Hahn had questions about the garbage delivery and whether it would interfere with traffic flow. Mr. Tipnis stated the garbage hauling hours could be restricted to non-peak times. Commissioner Hahn commented he thought the Popeyes electronic billboard should prohibit them from asking for temporary signage that sometimes can become an eyesore along the Route 47 corridor.

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Commissioner Darci Chandler stated her comments had been addressed and she was in favor of the project.

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There were no further comments from the Commission.

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Chairman Kibort requested a motion to close the public hearing.

A MOTION was made to close the public hearing to consider Petition No. 20-05.02.

MOVED:	Commissioner Robert Chandler
SECONDED:	Commissioner Lori Nichols
AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS:	None
ABSTAIN:	None
MOTION CARRIED	7:0:0

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Chairman Kibort requested a motion to approve the petition.

A MOTION was made to approve Petition No. 20-05.02, Amin Dhanani on behalf of HZ Props RE, Ltd, as petitioner, and Ruby-02-HNTLYCMRCL, LLC, owner, Lot 3 in Huntley Crossings, Phase 2, Plat 1 (generally located east of Route 47 and north of Regency Parkway) – Request is for approval of (i) a Final Planned Unit Development, including any necessary relief and (ii) a Special Use Permit for a Drive-Through for a Popeyes Louisiana Kitchen in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance, subject to the following conditions:

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1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management. The petitioner, its agents and assignees are responsible for not increasing the rate of stormwater runoff and will be required, to the extent practicable, to minimize any increase in runoff volume through “retention” and design of multi stage outlet structures.
4. The petitioner shall obtain final approval of the Landscape Plan from the Development Services Department.
5. All permanent and seasonal plantings must be replaced immediately upon decline.
6. In accordance with the Village’s Commercial Design Guidelines, screens, dormers or other features are required to conceal rooftop mechanical equipment on all sides of the structure if the Development Services Department determines that the parapet walls, as proposed, do not fully screen said equipment.
7. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
8. No building plans or permits are approved as part of this submittal.
9. No sign permits are approved as part of this submittal.
10. The electronic message board sign shall contain static messages only and shall not have movement or the appearance or optical illusion of movement, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination or the flashing, scintillating or varying of light intensity other than that provided through an automatic dimming system to control overall illumination intensity. Each message on the sign shall be displayed for a minimum of 10 seconds. The change of messages must be accomplished immediately.

The Plan Commission added the following conditions of approval:

11. The petitioner shall work with Development Services staff to increase the drive-through drive aisle width at the east entrance in order to provide escape access for cars entering the drive through.
12. Trash pickups must be scheduled during off-peak hours.

MOVED:	Commissioner Robert Chandler
SECONDED:	Commissioner Lori Nichols
AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS:	None
ABSTAIN:	None
MOTION CARRIED	7:0:0

7. Discussion

Director Nordman stated that due to the Memorial Day holiday, the next regularly scheduled meeting is Monday, June 8, 2020, and staff is anticipating a Public Hearing for a Simplified Residential Zoning Variation would be heard on that date. He added this would be the first petition for the current Members to act as the Zoning Board.

8. Adjournment

At 7:29 pm, a MOTION was made to adjourn the May 11, 2020 Plan Commission meeting.

MOVED:	Vice Chair Ellison
SECONDED:	Commissioner Lori Nichols
AYES:	Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Ron Hahn, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS:	None
ABSTAIN:	None
MOTION CARRIED	7:0:0

Respectfully submitted,
Margo Griffin
Development Manager
Village of Huntley

Village of Huntley
REQUEST FOR PLAN COMMISSION ACTION
PUBLIC HEARING

MEETING DATE: July 13, 2020

SUBJECT: Petition No. 20-07.01, Spyratos Realty Co. Inc., as petitioner, and Bakley Enterprises, Inc., as owner, 10390 Vine Street, Request is for consideration of (i) a Special Use Permit for a Car Wash in the “B-3” Shopping Center Business District and (ii) Site Plan Review, including any necessary relief, in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

BACKGROUND INFORMATION

Petitioner: Pete Spyratos
 Spyratos Realty Co. Inc.
 1034 DeKalb Ave.
 Sycamore, IL 60178

Owner: Bakley Enterprises, Inc.
 10900 N. Church Street
 PO Box 145
 Huntley, IL 60142

Subject Location: 10390 Vine Street, Huntley, IL.

Request: This application is filed for the purpose of requesting approval of (i) a Special Use Permit for a Car Wash in the “B-3” Shopping Center Business District and (ii) Site Plan Review, including any necessary relief, in accordance with the site plan that has been submitted. The petitioner is proposing to reopen the former Huntley Car Wash as Premier Car Wash. The property is zoned B-3 Shopping Center Business District.

Zoning, Land Use and Comprehensive Plan:

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN
Property in Question	“B-3” Shopping Center Business District	Closed car wash	Retail and Service Commercial
North	“B-3” Shopping Center Business District	Vacant	Retail and Service Commercial
South	“B-3” Shopping Center Business District	Retail and Service	Retail and Service Commercial
East	“B-3” Shopping Center Business District	Retail and Service	Retail and Service Commercial
West	“B-3” Shopping Center Business District	Retail and Service	Retail and Service Commercial

INTRODUCTION

The petitioner, Peter Spyratos, is proposing to purchase the former Huntley Car Wash located at 10390 Vine Street and reopen it as Premier Car Wash. Mr. Spyratos also owns Premier Car Wash in Sycamore.

Staff Analysis

Site Plan & Parking Lot

Mr. Spyrtos proposes to utilize the existing structure and update the equipment to include three (3) touchless automatic car wash bays. The building will be power washed, and the red cinder block will be covered with Premier’s prototypical blue signage board. The north vacuum station will be replaced with a new pay station and southern vacuum station will remain as existing. The entire parking lot will be repaved and restriped, and the plans indicate stacking for 24 vehicles. There are four (4) 10’ x19’ parking spaces proposed adjacent to the vacuum at the south side of the lot.

Landscaping

The proposed landscape plan depicts two new planting beds on the north side of the site. Three (3) 2-inch caliper American Hornbeam trees are included in the plan, and several groupings of bushes, grasses, and perennials are well spaced between the trees.

Lighting

Parking lot lighting on the site will be replaced with three (3) new Lithonia light poles and the Lithonia D-Series Size 1 LED Area Luminaire fixtures. The light fixtures will be required to provide the requisite 2.0 foot-candle average for the parking area and the 0.5 foot-candle maximum at the property line.

Signage

The proposed signage includes six (6) wall signs. This includes two (2) illuminated “Premier Car Wash” channel letter signs (54 SF each) on the west and east sides, and two (2) illuminated “Touchless Laserwash” channel letter signs (57 SF each) on the north and south sides. All channel letter signage will be attached to the 32” tall composite aluminum blue panel, which is proposed to wrap around the upper façade of the entire building. The east side of the building includes one (1) illuminated “water swoosh” sign measuring 30 square-foot, and the west side of the building will have the entrance door wrapped with the “water swoosh” logo, measuring 20 square-foot.

Building elevation	Number of signs allowed	Number of signs proposed	Square footage of signs allowed	Square footage of signs proposed	Relief Required
West (Vine St.)	1	2 ^(1&3)	65 SF	84 SF	1 sign and 19 SF
East (Rt. 47)	1	2 ^(1&4)	65 SF	64 SF	1 sign
North (side)	0	1 ⁽²⁾	None	57 SF	1 sign and 57 SF
South (side)	0	1 ⁽²⁾	None	57 SF	1 sign and 57 SF
Total	2	6	130 SF	262 SF	Four (4) addl. signs and addl. 132 square feet

The four (4) types of proposed walls signs are:

- (1) “Premier Car Wash” illuminated channel letters– 54 SF
- (2) “Touchless Laserwash” illuminated channel letters – 57 SF
- (3) “Water Swoosh” logo – acrylic, illuminated, 30 SF
- (4) “Water Swoosh” logo – west entrance with “wrapped” art design over entire door – 20SF

REQUIRED RELIEF

The following relief will be considered as part of the Site Plan Review:

Signage

1. In accordance with Section 156.123 of the Sign Ordinance, the building would be permitted two wall signs as it fronts two streets (Route 47 and Vine Street). Each street frontage would be allowed one sign and 65 square foot of sign area; therefore, relief will be required to allow four (4) additional wall signs, and 132 additional square feet of sign area.

Village Board Conceptual Review

The Village Board reviewed conceptual plans for the project at their June 11, 2020 meeting and generally gave positive reviews for the project. One trustee mentioned he wanted the proposed six (6) bushes on the north side to be taller than 4-foot. *The petitioner has since improved the landscaping on the north side to include three (3) trees, and several bushes, decorative grasses, and perennials.* Additional questions included whether the building would be painted, and how many vehicles would be stacked. *The petitioner will be power washing and tuck-pointing the building, and has included a stacking plan as an exhibit in this report.*

Special Use Permit

When reviewing a Special Use Permit the Plan Commission must consider the standards identified in Section 156.068(E) of the Zoning Ordinance. No Special Use Permit shall be recommended or granted pursuant to Section 156.068(E) unless the applicant establishes the following (*The petitioner's responses to the standards are provided as an exhibit to this report*):

- (a) *Code and Plan Purposes.* The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.
- (b) *No Undue Adverse Impact.* The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.
- (c) *No Undue Interference with Surrounding Development.* The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.
- (d) *Adequate Public Facilities.* The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
- (e) *No Undue Traffic Congestion.* The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential street.
- (f) *No Undue Destruction of Significant Features.* The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.
- (g) *Compliance with Standards.* The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

ACTION REQUESTED

The petitioner requests a motion of the Plan Commission, to recommend approval of Petition No. 20-07.01, Spyrtos Realty Co. Inc., as petitioner, and Bakley Enterprises, Inc., as owner, 10390 Vine Street, Requesting approval of a (i) a Special Use Permit for a Car Wash in the "B-3" Shopping Center Business District and (ii) Site Plan Review, including any necessary relief for Premier Car Wash.

Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. All public improvements and site development must occur in full compliance with the submitted plans and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioners will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.

3. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
4. The petitioner shall obtain final landscape approval of the Landscape Plan from the Development Services Department.
5. All permanent and seasonal plantings must be replaced immediately upon decline.
6. The lighting fixtures will be required to provide the minimum 2.0 foot-candle average for the parking area and the 0.5 foot-candle maximum at the property line.
7. No building plans or permits are approved as part of the submittal.
8. No sign permits are approved as part of the submittal.

EXHIBITS

1. Aerial photo
2. Plat of Subdivision indicating site location
3. Site plan, including paving, striping, and vehicle stacking
4. Landscape plan
5. Sign Plan
6. Lighting plan
7. Street view photos – former Huntley Car Wash
8. Photos – Premier Car Wash in Sycamore
9. Special Use Permit – Petitioner’s response to Standards



Village of Huntley GIS

Lot 2 of Resub of Lot 3, Bakley's 18th Addition

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 100'

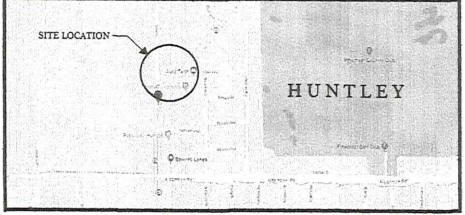
VILLAGE OF HUNTLEY

10987 Main Street
Huntley, IL 60142
(847)669-9600

Print Date: 6/3/2020

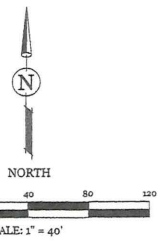
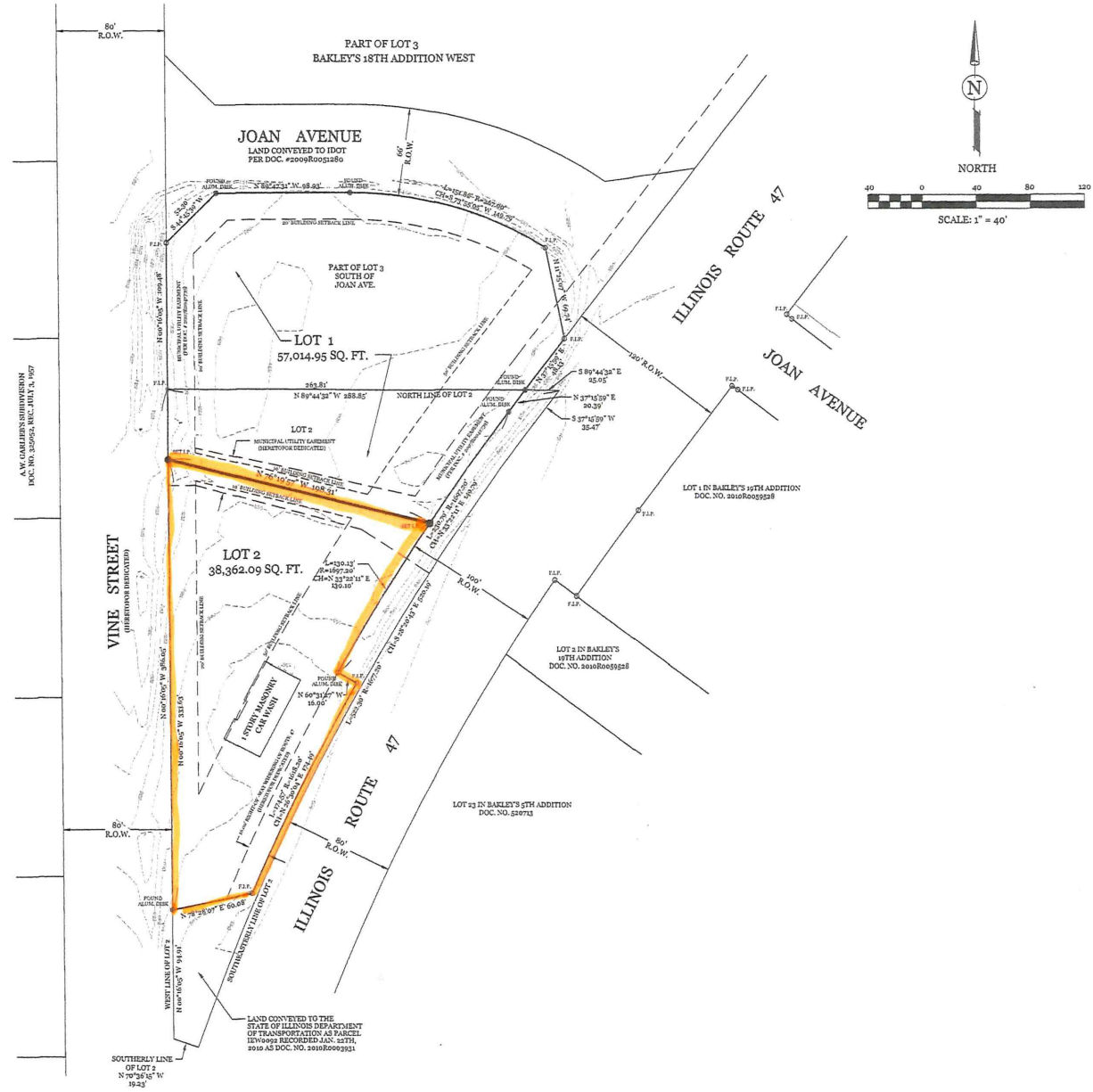
RESUBDIVISION OF LOT 3 OF BAKLEY'S 18TH ADDITION WEST

BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 21 AND PART OF SECTION 28,
PER DOCUMENT NUMBER: 2007R0042739, ALL IN TOWNSHIP 43 NORTH, RANGE 7 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF HUNTLEY, McHENRY COUNTY,
ILLINOIS.



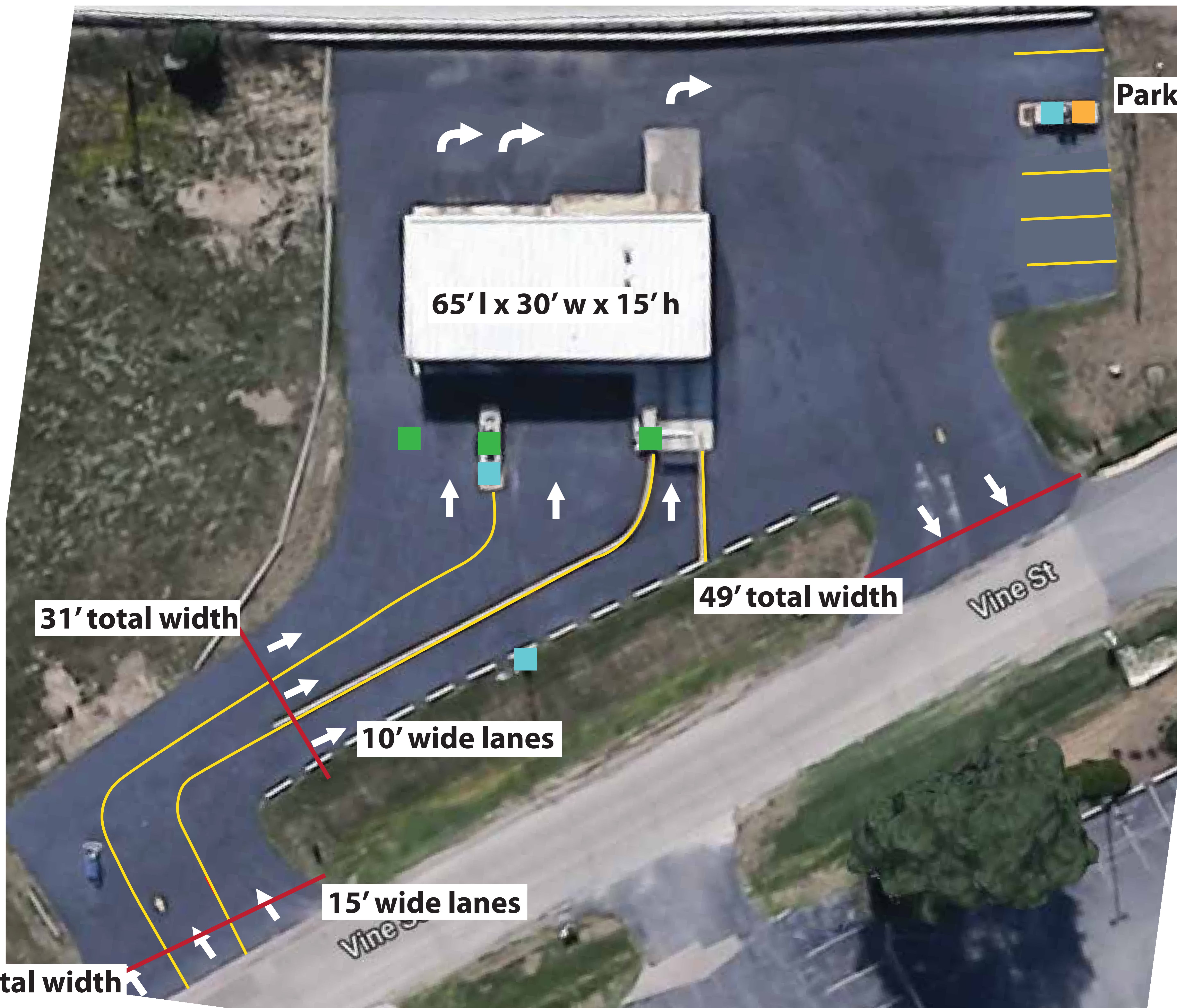
***** PLAT VICINITY MAP
SCALE: NONE

LEGEND	
	PROPERTY BOUNDARY
	RIGHT OF WAY LINE
	EASEMENT LINE
	EXISTING CONTOUR LINE
	FOUND ALUMINUM DISK
	F.I.P.
	SET I.P.






REVISIONS:				DRAWN BY:				DATE:	08-29-18	DIA	CLIENT:	TITLE:	SCALE:
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION								
08-29-18	D.J.	PER VILLAGE REVIEW										PLAT OF SUBDIVISION BAKLEY'S 18TH ADDITION WEST HUNTLEY, ILLINOIS	
10-24-18	D.J.	REVISED											
09-21-18	D.J.	REVISED											

DIA CIVIL ENGINEERS & SURVEYORS DAVE JOHNSON and ASSOCIATES, Ltd. 312 S. Hale Street Wheaton, IL 60187 Ph: 630.754.8600 Fax: 630.754.9256 e-mail: DIA@DIAcivil.com	SHEET 1
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------



Parking Spaces=10' x 19'

65' l x 30' w x 15' h

-  Vacuum
-  Light Pole
-  Pay Station

31' total width

49' total width

10' wide lanes




15' wide lanes

49' total width

Vine St



Parking Spaces=10' x 19'

-  Vacuum
-  Light Pole
-  Pay Station

65' l x 30' w x 15' h

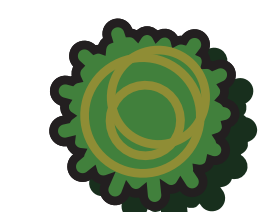
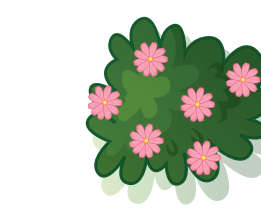
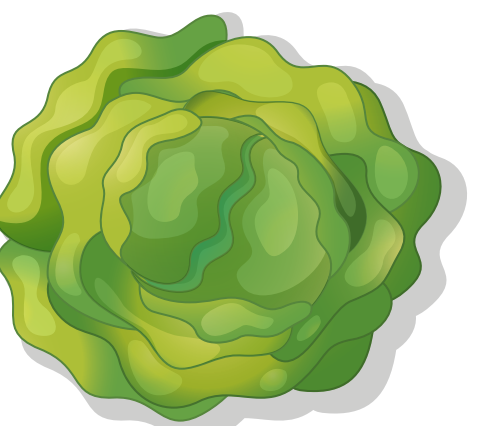

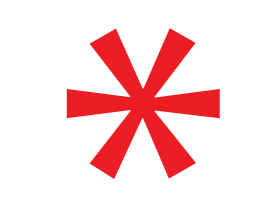
10' wide lanes

15' wide lanes

Vine St

Vine St



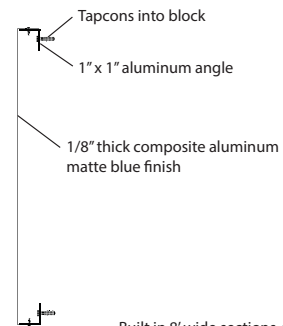
-  = boxwood bushes
-  = day lillies
-  = 2 caliper american hornbeam
-  = blue zinger
-  = timber poles will be removed

Beds to be mulched annually.

building dimensions: 65' l x 30' w x 15' h



Blue Fascia



Built in 8" wide sections, these composite aluminum blue panels would have a finished height of 32". There would be a 1" deep return (thickness) that will allow the panels to blind attach aluminum angle mounted to the building.

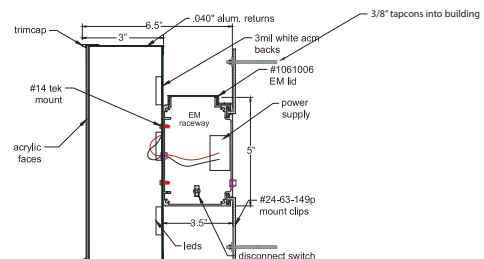
Example of Finished Product



SIGNS

LED lit channel letters produced and mounted to all sides of building

- 3" deep with a blue return
- yellow trim cap
- yellow face
- all mounted to a raceway



FEATURES & SPECIFICATIONS

INTENDED USE — These specifications are for USA standard only. Check with factory for Canadian specifications. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

CONSTRUCTION — **Pole Shaft:** The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, .1196"), or 50 KSI (7-gauge, .1793"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

Pole Top: A flush non-metallic black top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with PT option.

Handhole: A reinforced handhole with grounding provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5".

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

Anchor Base/ Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

HARDWARE — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

FINISH — Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number	SSS 15 5G DM19AS DDBXD
Notes	TLE
Type	A Pole



Anchor Base Poles

SSS

SQUARE STRAIGHT STEEL



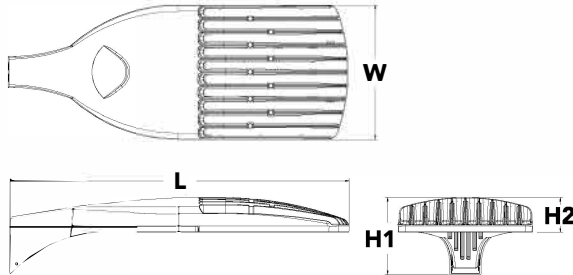
D-Series Size 1 LED Area Luminaire

d#series



Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height H1:	7-1/2" (19.0 cm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12.2 kg)



Catalog Number	DSX1 LED P6 40K T3M MV HS SPUMBA DDBX
Notes	carwash
Type	A Fixture

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED		Color temperature		Distribution		Voltage	Mounting	
Series	LEDs	Color temperature		Distribution		Voltage	Mounting	
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	30K 3000 K 40K 4000 K 50K 5000 K		T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium	T5VS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control ² LCCO Left corner cutoff ² RCCO Right corner cutoff ²	MVOLT ³ 120 ⁴ 208 ⁴ 240 ⁴ 277 ⁴ 347 ^{4,5} 480 ^{4,5}	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁶ RPUMBA Round pole universal mounting adaptor ⁶ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁷	
Control options						Other options	Finish (required)	
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ⁸ PIRHN Network high/low motion/ambient sensor ⁹ PER NEMA twist-lock receptacle only (controls ordered separate) ¹⁰ PER5 Five-pin receptacle only (controls ordered separate) ^{10,11} PER7 Seven-pin receptacle only (controls ordered separate) ^{10,11} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹² DS Dual switching ^{12,13,14}						PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{15,16} PIRHN High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{15,16} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{15,16} PIR1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{15,16} FAO Field adjustable output ¹⁴	Shipped installed HS House-side shield ¹⁷ SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (208, 240, 480V) ⁴ L90 Left rotated optics ¹ R90 Right rotated optics ¹ Shipped separately BS Bird spikes ¹⁸ EGS External glare shield ¹⁸	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



Existing Building, Former Huntley Car Wash, 10390 Vine street





LASERWASH

TOUCHLESS AUTOMATIC





June 24, 2020

Director of Development Services Village of Huntley
10987 Main Street Huntley, IL 60142 T: 847.515.5258

Re: Spyratos Realty Co. Inc. Reopening of the former Huntley car wash as Premier Car Wash
Address- 10390 Vine Street Huntley, IL 60142

Dear Members of the Plan Commission and Members of the Village Board:

On behalf of Spyratos Realty Co inc.– Premier Car Wash please find our responses to Special Use Standards below as required for the PUD/SUP request and project review.

Per the Village of Huntley Zoning Ordinance, Special Use Permits, we ask that staff, the Plan Commission and Village Board consider our response to the following regarding Standards for Special Use Permits:

A. Code and Plan Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan:

- The proposed reopening of Huntley car wash as Premier car wash and Special Use if granted, will be in harmony with and in compliance with the Standards and Ordinances set forth by the Village of Huntley.
- The area is already a large commercial/shopping hub for the Village of Huntley. The addition of 3 Laserwash Touchless Automatic Machines will add a convenient automotive washing service option for local residents.
- The site is located in a commercial area and is not anticipated to affect the public's comfort or

welfare.

- It is our opinion that a touchless car wash facility fits well within the District and is also an appropriate use as it is adjacent to other Commercial uses.

Director of Development Services Final PUD/SUP Review, Huntley, IL

B. No Undue Adverse Impact: The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.

- The reopening of the former Huntley car wash as Premier car wash as proposed will not impede the development of adjacent properties for uses already permitted in the adjacent Commercial and Residential Districts, nor will it detract from or negate development as allowable in the adjacent properties.
- The reopening of the former Huntley Car Wash as Premier Car Wash will not have an adverse effect upon the character, public health, safety and general welfare of the area.

C. No Undue Interference with Surrounding Development: The proposed use, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

- The proposed reopening of Huntley Car Wash as Premier Car Wash and Special Use if granted, will not create any undue interference with surrounding development past, present or future, and in full compliance with all Village of Huntley Regulations and applicable code standards.

D. Adequate Public Facilities: The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities (water consumption and waste generation), drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

- The proposed development and Special Use if granted, will have adequate Public Services for this development. It is assumed that because the site is within the Village of Huntley, Police and Fire services will be provided by the Village/Township.

E. No Undue Traffic Congestion: The proposed use and reopening of the former Huntley Car Wash as Premier Car Wash will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

- The proposed reopening of the former Huntley Car Wash as Premier Car Wash and Special Use if granted, will not create any Undue Traffic Congestion during or after construction. Premier car wash will have adequate que lanes (as you can see on our parking lot plan) to accommodate long lines on busy days. Our parking lot plan shows how well our traffic patterns on site will flow.

- The proposed development will not draw any significant amounts of traffic through any adjacent residential streets. The area is already a large commercial/shopping hub for the Village of Huntley. The addition of a Touchless car wash site will add convenient automotive washing service options for local residents.

F. No Undue Destruction of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic features of significant importance.

- The proposed reopening of the former Huntley Car Wash as Premier Car Wash and Special Use if granted, will not create any Undue Destruction of Site Features of significant importance. The area is already a large commercial/shopping hub for the Village of Huntley.

G. Compliance with Standards: The proposed use and remodeling complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

- The proposed reopening of the former Huntley Car Wash as Premier Car Wash and Special Use if granted, will be remodeled in full compliance with all Village and applicable Code standards.

- Spyratos Realty Co Inc. owns and operates Premier Car Wash in Sycamore Illinois and has experience in the touchless car washing field and ensures that the proposed reopening of the former Huntley Car Wash structure and general site layout is in compliance with the Standards and Ordinances set forth by the Village of Huntley.

In conclusion, it is our perspective that the potential public benefits of this proposed Special Use far outweigh any potential or perceived adverse impacts. It is our hope that Village staff and Members of the Plan Commission and Village Board will find in favor of this PUD/Special Use request. On behalf of myself, Spyratos Realty Co Inc. and Premier Car Wash we thank you in advance for your consideration and look forward to presenting our project to the Plan Commission and Village Board. In the interim, please contact me with any questions regarding our submission or if any additional information is required. I can be reached at (815)761-3358 or via email at petesmail83@yahoo.com

Sincerely,

Pete Spyratos
Premier Car Wash
Spyratos Realty Co. Inc.

Village of Huntley
REQUEST FOR PLAN COMMISSION ACTION
PUBLIC HEARING

MEETING DATE: July 13, 2020

SUBJECT: Petition No. 20-07.02, Woodstock Hotel Inc., as petitioner, and Huntley Hotels, LLC, as owner, Lot 2 of the Huntley Crossings Final Plat of Subdivision (generally located east of Route 47 and south of Powers Road), Request is for consideration of a petition (i) Amending the Preliminary Planned Unit Development and for (ii) Final Planned Unit Development in order to construct a four-story Hampton Inn Hotel in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

BACKGROUND INFORMATION

Petitioner: Woodstock Hotel, Inc.
 10740 Bull Valley Drive
 Woodstock, IL 60098

Owner: Huntley Hotels, LLC
 10740 Bull Valley Drive
 Woodstock, Illinois 60098

Subject Location: Lot 2 of the Huntley Crossings Final Plat to Subdivision (generally located east of Route 47 and south of Powers Road)

Request: The petitioner is requesting approval for amending the Preliminary Planned Unit Development for Huntley Crossings and for approval of a Final Planned Unit Development in order to construct a four-story Hampton Inn Hotel.

Zoning, Land Use and Comprehensive Plan:

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN
Property in Question	“B-3 (PUD)” Shopping Center Business – Planned Unit Development	Vacant	Retail and Service Commercial
North	“B-3 (PUD)” Shopping Center Business – Planned Unit Development	Vacant	Retail and Service Commercial
South	“BP” Business Park	Gateway Commons	Business Park
East	Unincorporated Kane County “F” Farming	Agricultural	Business Park
West	“B-3 (PUD)” Shopping Center Business – Planned Unit Development	Stormwater Management / Vacant	Retail and Service Commercial

Development Summary

The petitioner is proposing to construct a 4-story, 100-room Hampton Inn hotel on Lot 2 of Huntley Crossings. The hotel is proposed to be located on the site which was previously approved in 2007 for a Home Depot store.

Staff Analysis

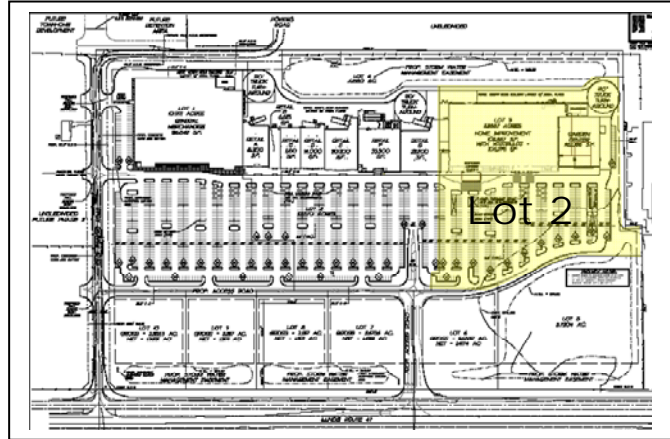
Amending the Preliminary Planned Unit Development

The Preliminary Planned Unit Development (PUD) for Huntley Crossings Phase I was approved by the Village Board on November 16, 2006 (Ordinance (O)2006-11.104). The Preliminary PUD proposed for Lot 2 (±11.3 acres) to be developed as big box retail (Home Depot). Home Depot later submitted a petition and was approved for Final Planned Unit Development to construct of a 104,208 square foot store and associated 28,086 square foot garden center (Ordinance (O)2007-06.30); However, due to the state of the economy Home Depot did not move forward with construction and later sold the property.

The proposed amendment to Huntley Crossings Phase I would modify the Preliminary PUD to allow for construction of a hotel on Lot 2, rather than big box retail as contemplated by the original plan.

Final Planned Unit Development

The petitioner is proposing to construct a 4-story, 100 room Hampton Inn hotel on Lot 2 of the Huntley Crossings Final Plat of Subdivision. The ±63,208 square foot hotel will include an indoor pool, breakfast area for guests and a meeting room capable of seating 34 people.



2006 Preliminary Planned Unit Development

Site Plan

The proposed site plan for the hotel will occupy approximately 3.7 acres of the ±11.3-acre lot (the petitioner is not proposing to subdivide the property at this time and would return at a later date to subdivide the lot when future users have been identified for the remain portions of Lot 2). The hotel's main entrance will face towards Route 47 and parking will be provided on all four sides of the building.

Access to the site will be provided by extending the existing north/south access road which also serves the outlots along Route 47 and provides access to the Route 47 signalized intersection. Pedestrian access to the site will be provided by extending the sidewalk which currently terminates at Harris Bank. Additional sidewalk connections will be constructed as the remaining outlots are developed, including a connection to the Route 47 multi-use path at the time Lot 4 is developed.

The trash enclosure will be located at the southeast corner of the site and will be constructed of stone veneer to match the building. The enclosure will also include a 16'-0" by 12'-6" storage building that will be clad in stone veneer.

Parking

The Zoning Ordinance requires that a hotel provide one (1) parking space per guest room plus 50% of the spaces required for accessory restaurants and/or meeting rooms. The Hampton Inn has 100 guest rooms and a meeting room and breakfast area that will each seat 34 people, therefore requiring 122 parking spaces. In compliance with Zoning Ordinance requirements the proposed site plan provides 124 parking spaces, including 5 accessible parking spaces. The site plan also provides 2 spaces for RV/trailer parking, as requested by the Village Board. A bicycle rack has also been provided near the main entrance to the hotel.

The following table provides a further summary of the parking requirements.

Required Parking

Use	Parking Required	Parking Proposed
Hotel – 100 guest rooms	100 spaces (1 space per guest room)	100 spaces
Breakfast Area – 34 seats	11 spaces (0.3 spaces per seat)	12 spaces
Meeting Room – 34 seats	11 spaces (0.3 spaces per seat)	12 spaces
	122 spaces	124 spaces

Building Elevations

The proposed 4-story building elevations include the use of stone veneer around the first floor of the building, an architectural wood look panel on portions of the front elevation (west), and five (5) different colors of EIFS on the remainder of the building. Staff notes, the Village’s Commercial Design Guidelines prohibit the use of EIFS. The building also includes a porte cochere at the main entrance that will have columns clad in stone veneer.

The height of the proposed building is 56 feet / 4-stories, which exceeds the maximum height permitted in the “B-3” Shopping Center Business zoning district. The “B-3” district permits a maximum height of 3 stories / 35 feet. The building will exceed the maximum permitted height by 1 story / 21 feet, therefore, requiring relief to be considered as part of the planned unit development.

Landscaping

The proposed landscape plan has been prepared in conformance with the Village’s landscape ordinance and Commercial Design Guidelines. The plan includes various species of 3-inch caliper trees around the perimeter of the site and within the parking lot. Foundation plantings are also provided on all four elevations of the building.

Site Lighting

Parking lot lighting will consist of LED pole mounted fixtures that are 25 feet in height. Additional lighting will include wall mounted fixtures on the north, south, and east building elevations and under canopy lighting at the front entrance. The parking lot photometric plan meets the Zoning Ordinance requirement of providing an average minimum illumination of two (2) foot candles. The petitioner will need to add photometric readings at the perimeter of the property in order to verify conformance with maximum foot candles at the property’s perimeter lot lines.

Signage – Wall

The proposed wall signage for the hotel consists of three signs that will be mounted at the top of the north, west, and south building elevations. Staff notes, the architectural building elevations also include a wall sign on the rear elevation (east) of the building; however, the Site Signage Plan does not propose a wall sign on the rear elevation.

The Zoning Ordinance permits one wall sign per tenant and limits the sign to the street frontage face of the building. In accordance with the Ordinance, the hotel would be permitted one wall sign by right since it only fronts on Route 47. Relief is required to allow the wall signs to be located on the north and south building elevations and allow 23.53 square feet of additional wall signage.

The following table provides a summary of the proposed wall signage:

Location	# of Signs Proposed	# of Signs Permitted	Sign Area Proposed	Maximum Sign Area Allowed
North Elevation	1	0	79.5	0 sq. ft.
South Elevation	1	0	79.5	0 sq. ft.
West Elevation (front)	1	1	112	247.47 sq. ft.
Total	3	1	271 sq. ft.	247.47 sq. ft.

Signage – Ground

The proposed ground sign will be located near the northwest corner of the site, near the entrance to the hotel’s parking lot. The sign will stand 12’-6” in height and positioned so that it faces towards Route 47. The sign face will have an area of approximately 41.76 square feet. The Annexation Agreement for the site requires that ground signs for the Route 47 outlots not exceed six (6) feet in height, but does not provide specific requirements for ground signs on the lots planned for big box retail because the development was to have two (2) shopping center monument signs along Route 47. The monument signs were to stand thirty (30) feet in height and would advertise the big box and in-line retail on the lots without direct frontage on Route 47. Those signs have not been constructed nor is there a plan to construct the signs in the near future.

The base of the ground sign is currently proposed as aluminum which does not comply with the Sign Ordinance or Commercial Design Guidelines. Both documents require the base of the sign to be constructed of brick or stone. Staff recommends the base of the ground sign be clad with the same stone veneer that is used on the building.

Required Relief

1. Section 156.039(C)(5) of the Zoning Ordinance allows a maximum building height of 3 stories / 35 feet in the “B-3” Shopping Center Business zoning district. The proposed height of the hotel is 4 stories / 56 feet, thus requiring relief to be approved as part of the Final Planned Unit Development.
2. Section 156.123 of the Zoning Ordinance, allows one wall sign per tenant or one wall sign per street frontage on corner lots. Section 156.123 also states the total surface area of all wall signs on a building shall not exceed one (1) square foot for each lineal foot of the building frontage. The site has frontage on only Route 47 and the building’s frontage measures 247.47 feet, therefore allowing one wall sign measuring up to 247.47 square feet. Relief is required to allow a total of three (3) wall signs totaling ±271 square feet.

Village Board Concept Review

The Village Board discussed the proposed plan at their meeting on May 28, 2020, and provided the following comments:

1. Provide parking spaces for RV’s and vehicles with trailers. *In response, the petitioner has added two spaces on the north end of the parking lot to accommodate larger vehicles.*
2. It was recommended that EIFS cover no more than 30% of the building.

ACTION REQUESTED

The petitioner requests a motion of the Plan Commission, to recommend approval of **Petition No. 20-07.02, Requesting to (i) Amend the Preliminary Planned Unit Development and for (ii) Final Planned Unit Development in order to construct a four-story Hampton Inn Hotel in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.**

Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management. The petitioner, its agents and assignees are responsible for not increasing the rate of stormwater runoff and will be required, to the extent practicable, to minimize any increase in runoff volume through “retention” and design of multi stage outlet structures.
4. The petitioner shall obtain final approval of the Landscape Plan from the Development Services Department.
5. The Espresso Kentucky Coffeetree proposed on the landscape plan shall be replaced with a different species of tree.
6. The base of the ground sign shall be clad in stone veneer to match the building.
7. All permanent and seasonal plantings must be replaced immediately upon decline.
8. In accordance with the Village’s Commercial Design Guidelines, screens, dormers or other features are required to conceal rooftop mechanical equipment on all sides of the structure if the Development Services Department determines that the parapet walls, as proposed, do not fully screen said equipment.
9. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
10. No building plans or permits are approved as part of this submittal.
11. No sign permits are approved as part of this submittal.

EXHIBITS

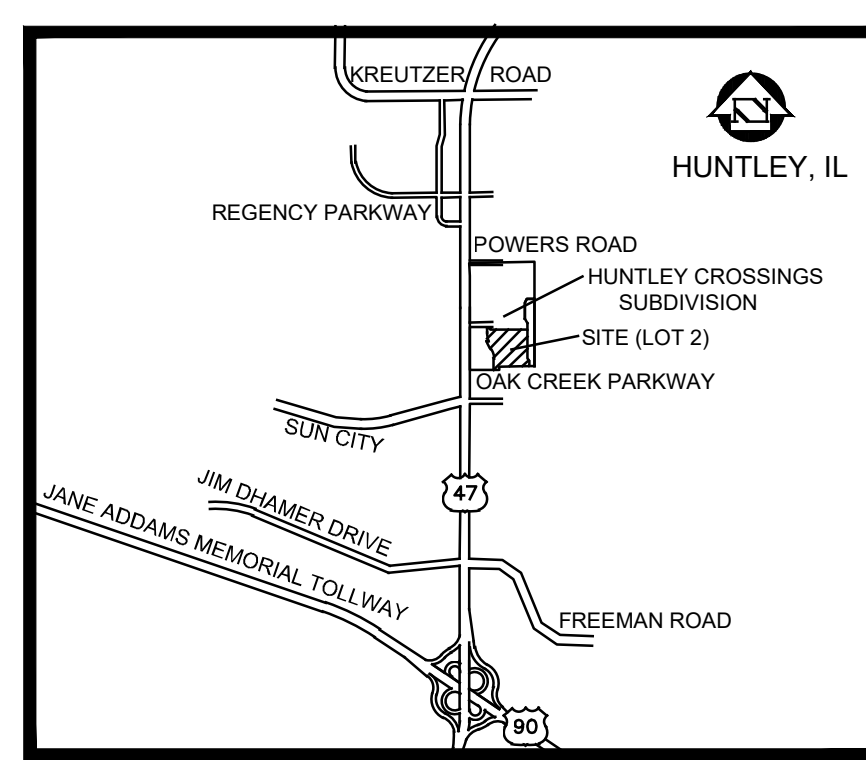
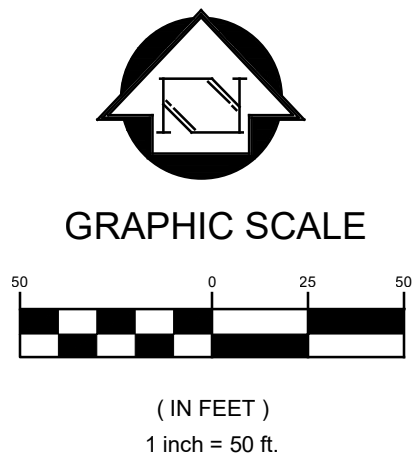
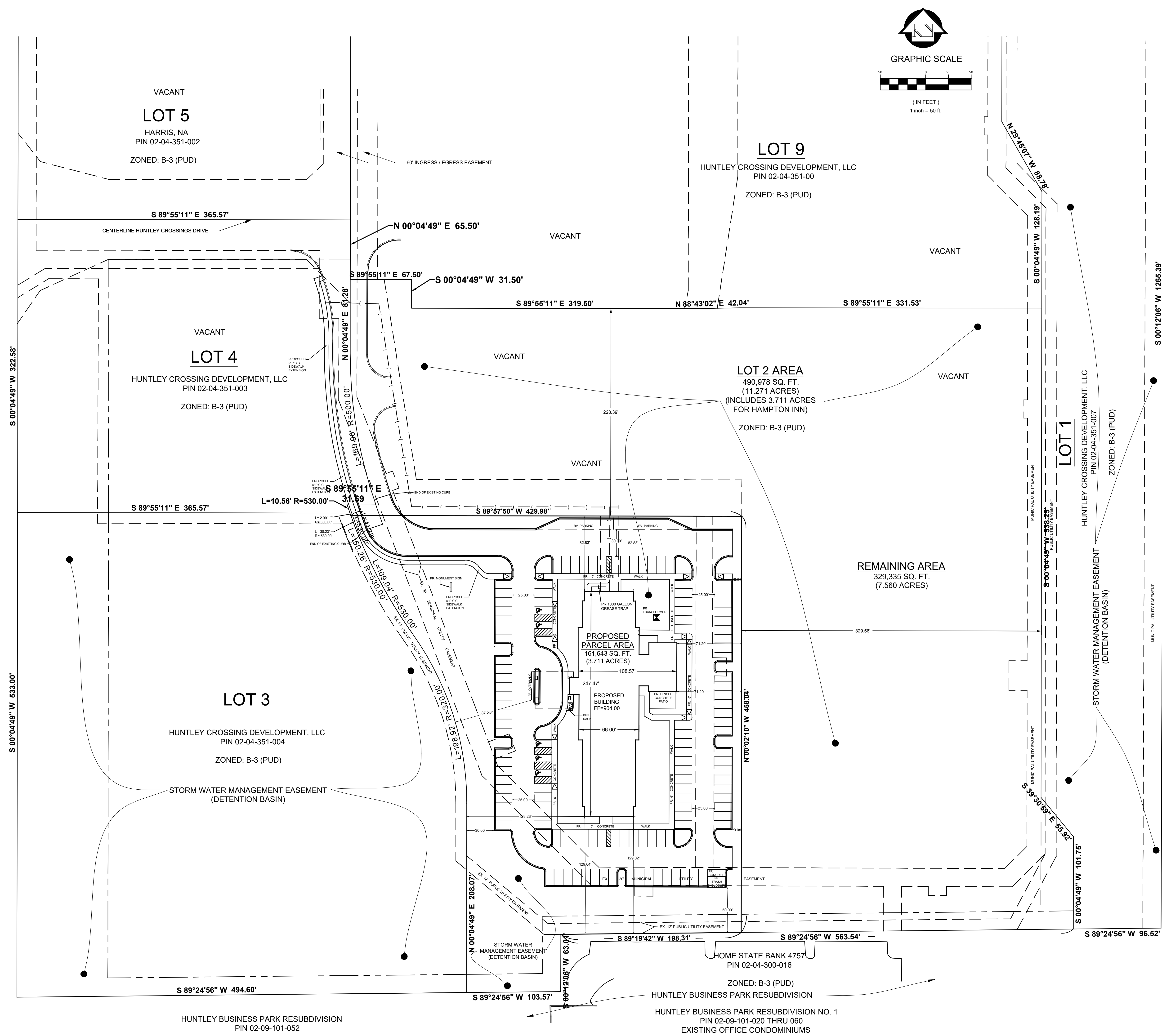
1. Color Rendering, not dated
2. Final PUD Site Plan, dated 6/24/20
3. Building Elevations, dated 5/24/20
4. Sign Plan, dated 5/14/20
5. Landscape Plan, dated 6/22/20
6. Site Improvement Plans, dated 6/24/20
7. Turning Exhibit, dated 6/17/20
8. Photometric Plan, dated 5/14/20
9. Site Lighting Fixture Specifications, not dated
10. Plat of Easement, not dated
11. Plat of Abrogation, dated 6/24/20



Hampton Inn

Hampton Inn

M:\2020\04-019-Huntley Crossing Hotel\Drawings\Construction\Drawings\20-019-HAMPTON INN PLAN REV PLAN 5-17-20, EXHIBIT, Pinned, 02/25/2020 8:04 AM, By: T:romb, COPYRIGHT 2020 - JOSEPH A. SCHUDT & ASSOCIATES



VICINITY MAP
(NOT TO SCALE)

INDICATES SITE LOCATION

LEGAL DESCRIPTION:

LOT 2 IN HUNTLEY CROSSINGS, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 28, 2007 AS DOCUMENT NO. 2007K099803 IN KANE COUNTY, ILLINOIS.

HAMPTON INN ZONING DATA

PER VILLAGE OF HUNTLEY ZONING ORDINANCE ADOPTED OCTOBER 8, 2009 WITH AMENDMENTS ADOPTED THROUGH JULY 27, 2017 AND ZONING MAP DATED MARCH 28, 2019.

ZONING DISTRICT = B-3 (PUD)

PERMITTED USES = RESIDENTIAL - APARTMENT HOTEL

SETBACKS	REQUIRED	ACTUAL/PROPOSED
FRONT YARD =	50'	87.26'
REAR YARD =	20'	71.20'
CORNER SIDE =	20'	83.50'
TOTAL SIDE =	20'	213.19'
MIN. SIDE =	10'	129.69'
RESIDENTIAL SETBACK =	30'	N/A

	80,000 S.F.	161,643 S.F. (3.711 ACRES)	ROOMS
MIN LOT WIDTH =	300 FT.	301.88 FT.	
BUILDING HEIGHT MAX =	3 STORIES / 35 FT.	56 FT.	
FLOOR AREA 1 =		17,530 S.F.	10
FLOOR AREA 2 =		15,226 S.F.	30
FLOOR AREA 3 =		15,226 S.F.	30
FLOOR AREA 4 =		15,226 S.F.	30
TOTAL FLOOR AREA =		63,208 S.F.	100

MAX. FLOOR AREA RATIO (F.A.R.) 1.0 0.391

MAX BUILDING COVERAGE 50% 10.94%

PERVIOUS COVERAGE 70,696 S.F. (43.74%)

IMPERVIOUS COVERAGE

CURB & GUTTER	3,456 S.F.
PAVEMENT	60,763 S.F.
CONCRETE WALK	9,188 S.F.
BUILDING	17,530 S.F.
TOTAL IMPERVIOUS AREA	90,947 S.F.

MAX IMPERVIOUS COVERAGE 85% 56.26%

PARKING STALL 10' x 19' 10' x 19'

DRIVE AISLE WIDTH 25' 25'

PARKING: (1 / GUEST + 50% FOR ACCESSORY USE AND MEETING ROOMS)

100 GUEST ROOMS	100	100
34 SEAT MEETING ROOM	12	12
34 SEAT BREAKFAST AREA	12	12
TOTAL	124	124

ADA PARKING (INCLUDED IN TOTAL) 5 5

LOADING 1 1

Joseph A. Schudt & Associates
9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065

(184-001172)

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

REVISIONS: 6-24-20

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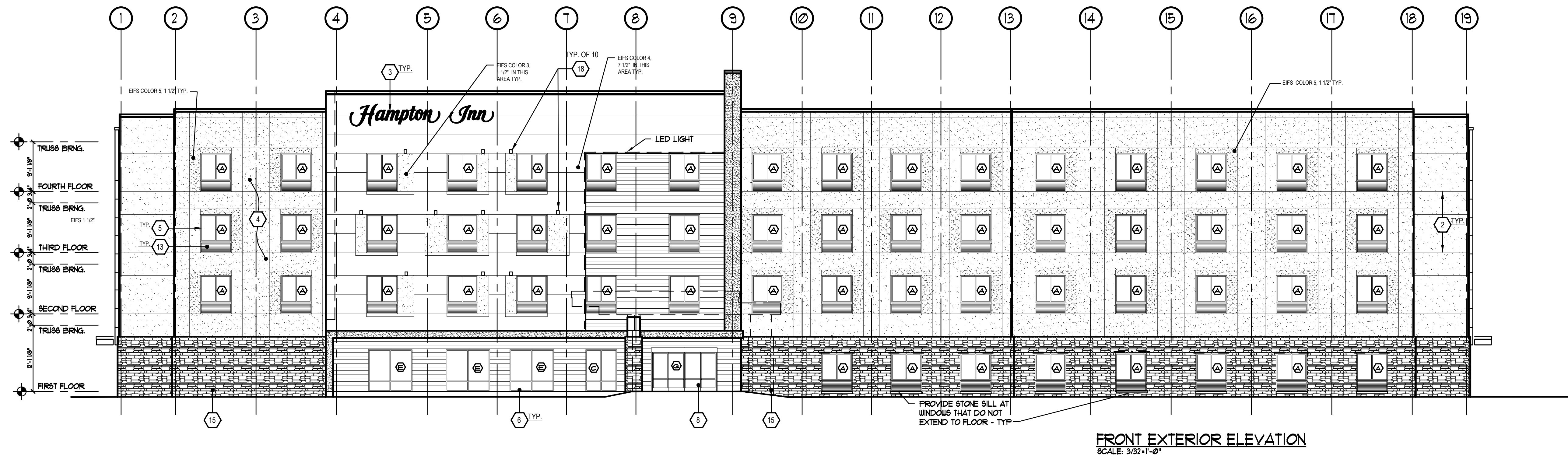
HAMPTON INN, HUNTLEY, IL

FINAL PLANNED UNIT DEVELOPMENT

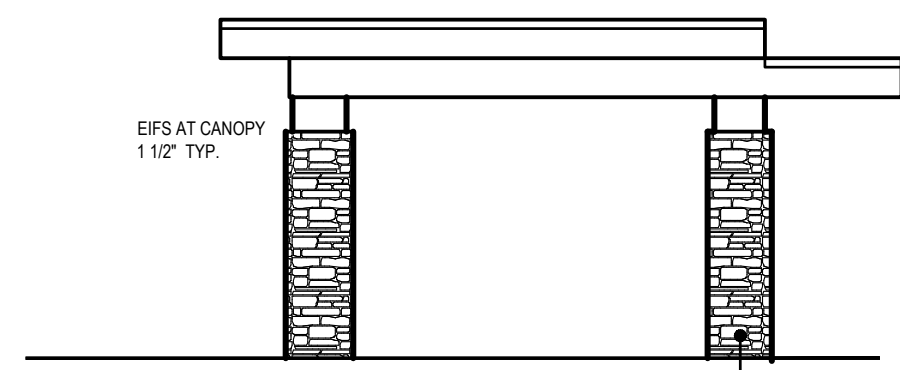
SITE PLAN

Date: 5-11-20
Scale: 1" = 60'
File Name: 2020HAMPTON INN PLAN REV PLAN 5-17-20
Drawn: TMF
Checked: DWO
Sheet: 1 OF 1
Project No.: 20-019

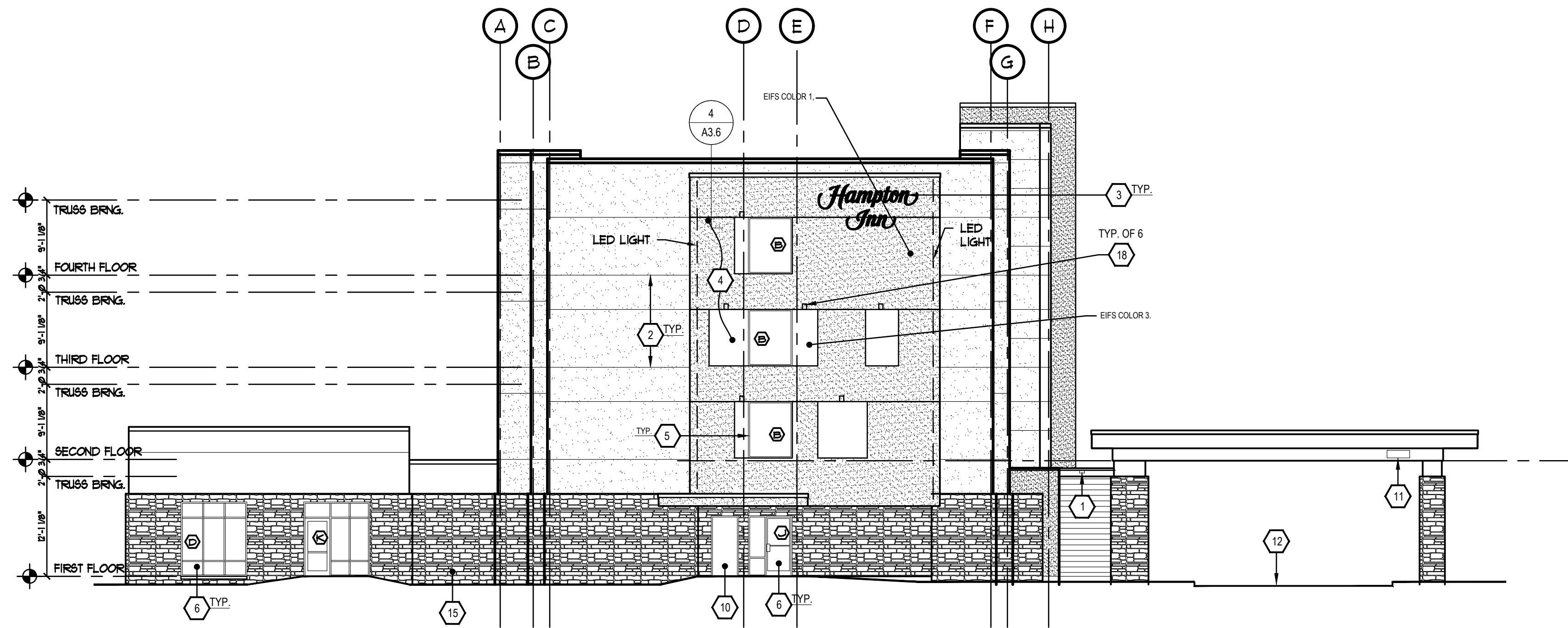
OWNER / DEVELOPER
WOODSTOCK HOTEL, INC.
10740 BULL VALLEY DRIVE
WOODSTOCK, IL 60098
ATTN: HETAN PATEL
patelhenry@yahoo.com
PHONE: 847.471.5100



FRONT EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"



FRONT PORTE COCHERE ELEVATION
SCALE: 3/32"=1'-0"



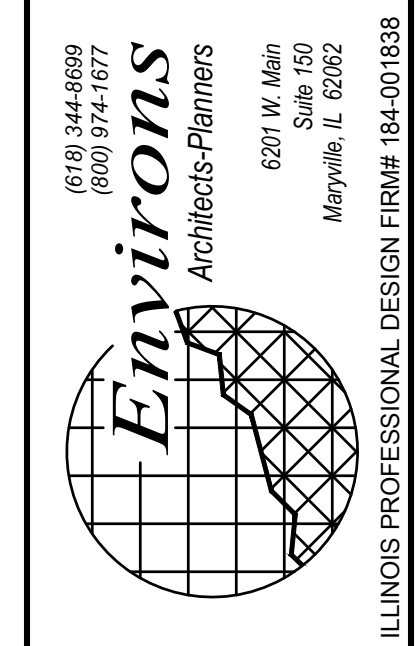
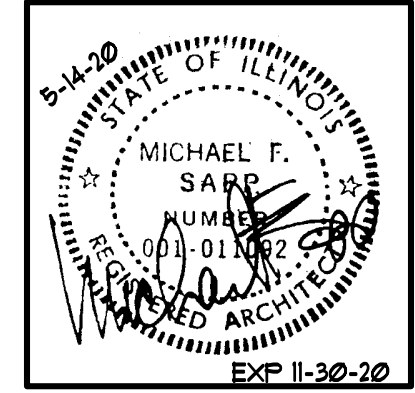
SIDE EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"

- KEY NOTES:**
1. ROOF SCUPPER SEE DETAIL 31A4.00
 2. CONTROL JOINT
 3. SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED - REFER TO 'BUILDING SIGNAGE' BELOW
 4. EXTERIOR INSULATION FINISH SYSTEM
 5. PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS, THERMALLY BROKEN FRAME, KYNAR 500 FINISH
 6. ALUMINUM STYREFOAM, THERMALLY BROKEN FRAME, KYNAR 500 FINISH
 7. PRE-FINISHED METAL LOUVERS AT DRYER VENTS, KYNAR 500 FINISH
 8. AUTOMATIC SLIDING DOORS
 9. EXTERIOR WALL SOUNSCAPE
 10. INSULATED HOLLOW METAL DOOR AND FRAME
 11. CLEARANCE SIGN
 12. SLOPE DRIVE 1/8" MAX (1/64" RECOMMENDED) TO DRAIN OUT FROM UNDER CANOPY
 13. PROVIDE EXTERIOR LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS. PROVIDE INSULATED PANEL BEHIND LOUVER AT NONPTAC LOCATIONS
 14. GUEST LAUNDRY THRU-WALL VENT FOR OPTIONAL LAUNDRY IF USED
 15. HARD SURFACE BASE MATERIAL (MASONRY/TILE)
 16. FLAT ROOF ABOVE SMOKING AREA
 17. WELCOME SIGNAGE - REFER TO GLOBAL EXTERIOR SIGNAGE SPECIFICATIONS FOR ADDITIONAL INFORMATION
 18. RECESSED LED CAN LIGHT EQUIVALENT TO INTER-LUM MODEL: CR04R R55 E96088 W/6.5" WITH EXTENDED STAINLESS STEEL MOUNTING SCREWS

- BUILDING SIGNAGE**
1. ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
 2. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
 3. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
 4. RACEWAYS / WIREWAYS ARE NOT ALLOWED.
 5. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
 6. ELECTROUTES OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

- COLOR & FINISH LEGEND**
- STONE VENEER
 - EFS COLOR 1
 - EFS COLOR 2
 - EFS COLOR 3
 - EFS COLOR 4 (COLOR TO MATCH WINDOW FRAME)
 - EFS COLOR 5
 - ARCHITECTURAL WOOD LOOK PANEL
- NOTE:**
ALL EFS THICKNESS IS 3" UNLESS NOTED OTHERWISE

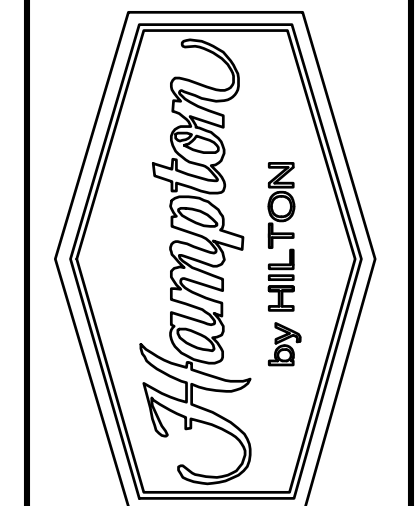
- GENERAL NOTES:**
1. ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, SOLER FUELS, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS
 2. DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT INTRODUCING A VERTICAL ELEMENT (I.E. BUILDING OFFSET, PLASTER, ETC.)



JOB NO.
20003

DATE:
MAY 14, 2020

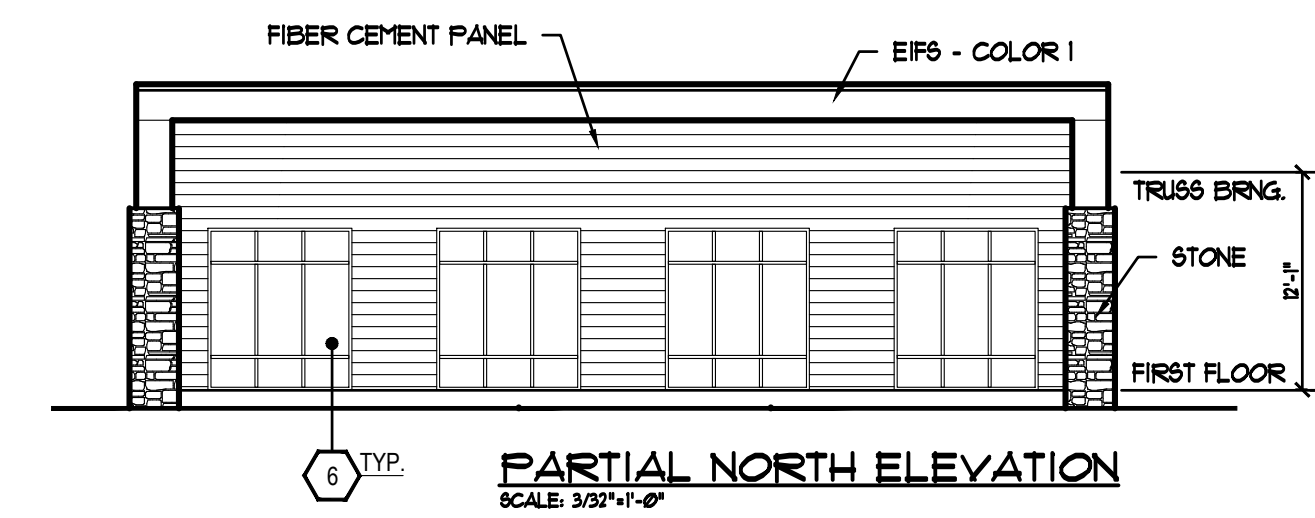
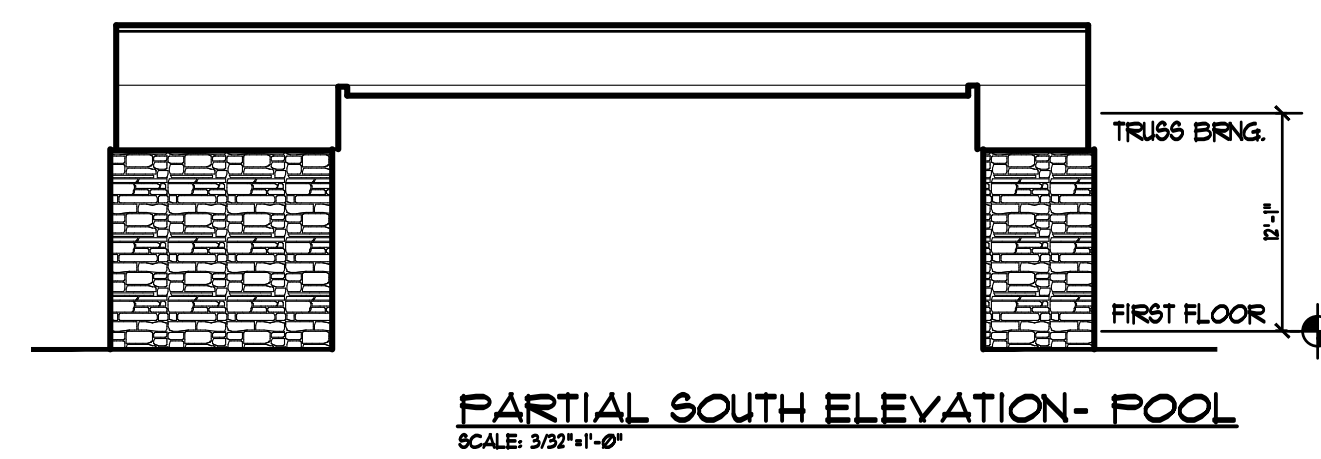
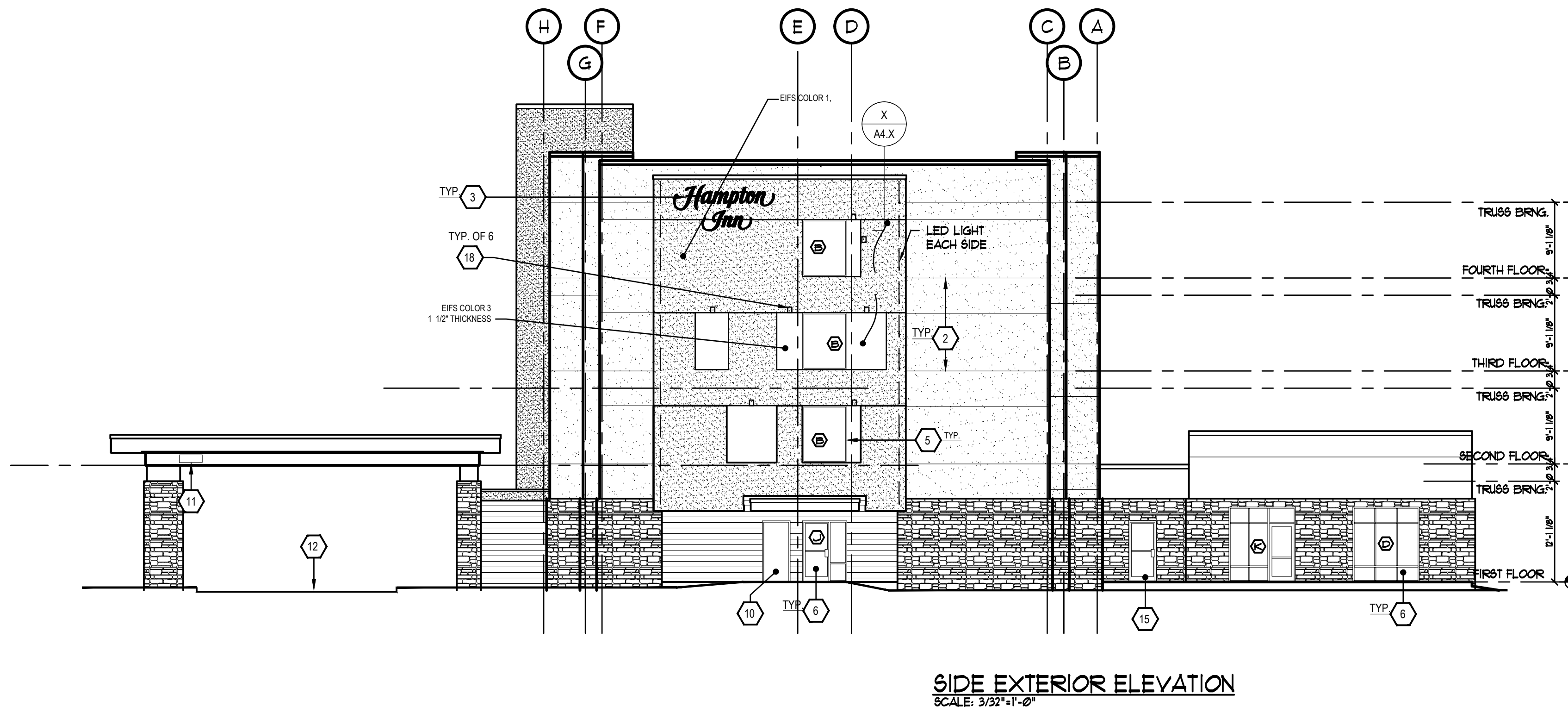
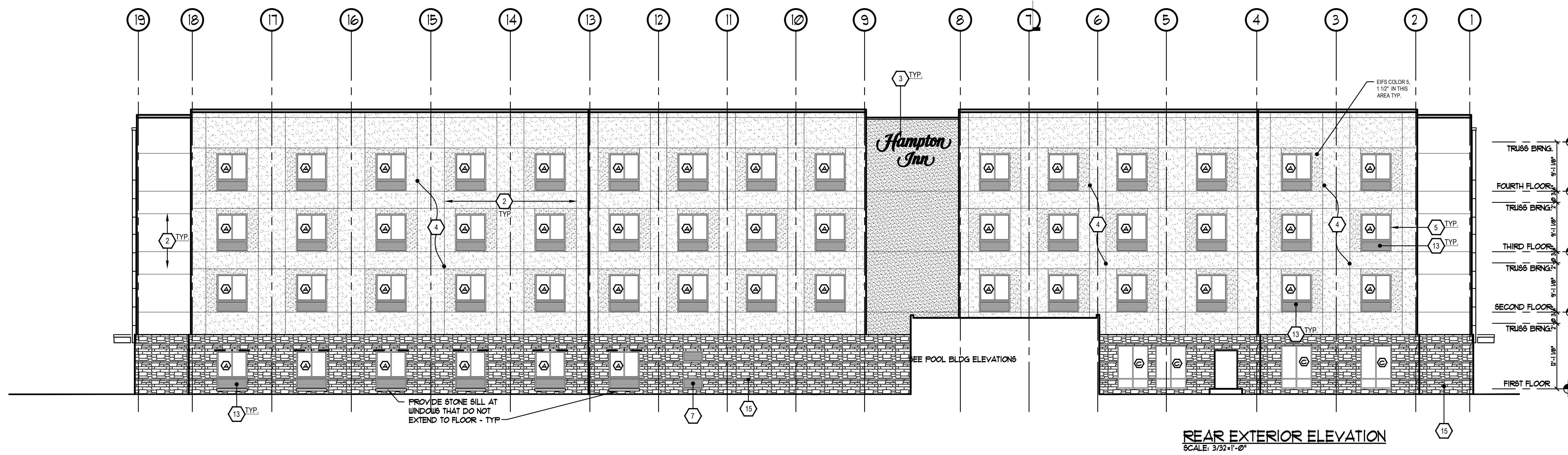
REVISED:



A NEW HOTEL:
HAMPTON INN
HUNTLEY, ILLINOIS
HIGHWAY 47
EXTERIOR BUILDING ELEVATIONS

SHEET
A2.1
OF XXI

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- KEY NOTES:**
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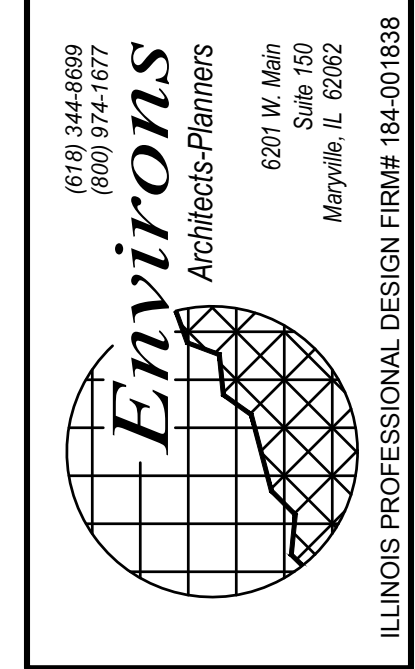
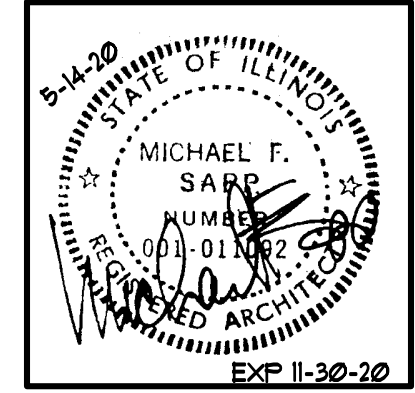
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COLOR & FINISH LEGEND

	STONE VENEER
	EIFS COLOR 1
	EIFS COLOR 2
	EIFS COLOR 3
	EIFS COLOR 4 (COLOR TO MATCH WINDOW FRAME)
	EIFS COLOR 5
	ARCHITECTURAL WOOD LOOK PANEL

NOTE:
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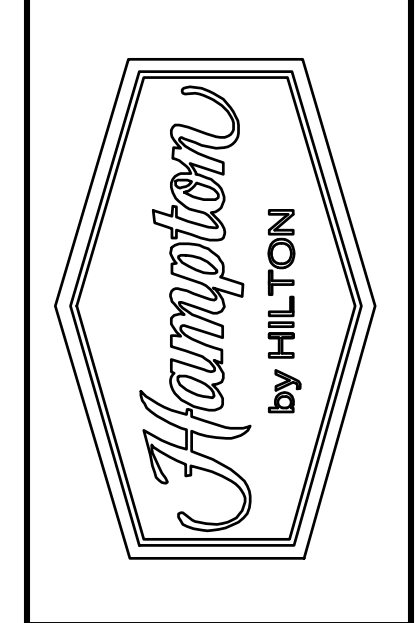
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JOB NO.
20003

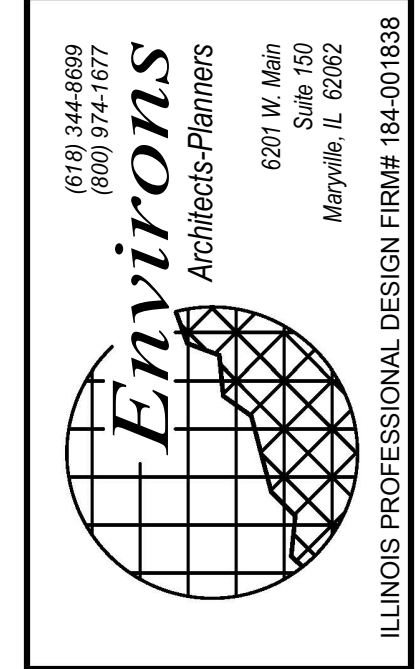
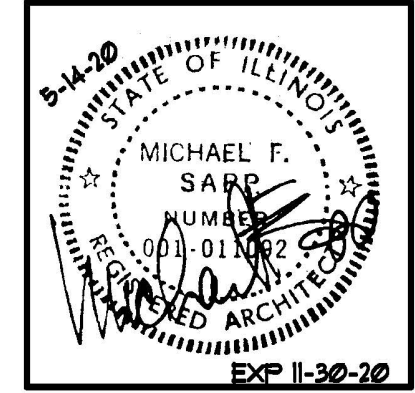
DATE:
MAY 14, 2020

REVISED:



A NEW HOTEL:
HAMPTON INN
HUNTLEY, ILLINOIS
HIGHWAY 47
EXTERIOR BUILDING ELEVATIONS

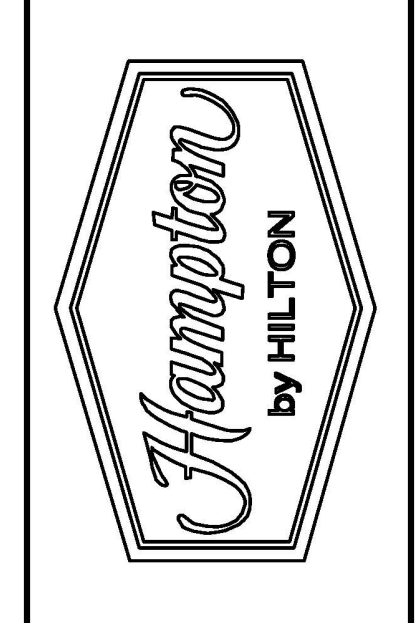
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OF XXI



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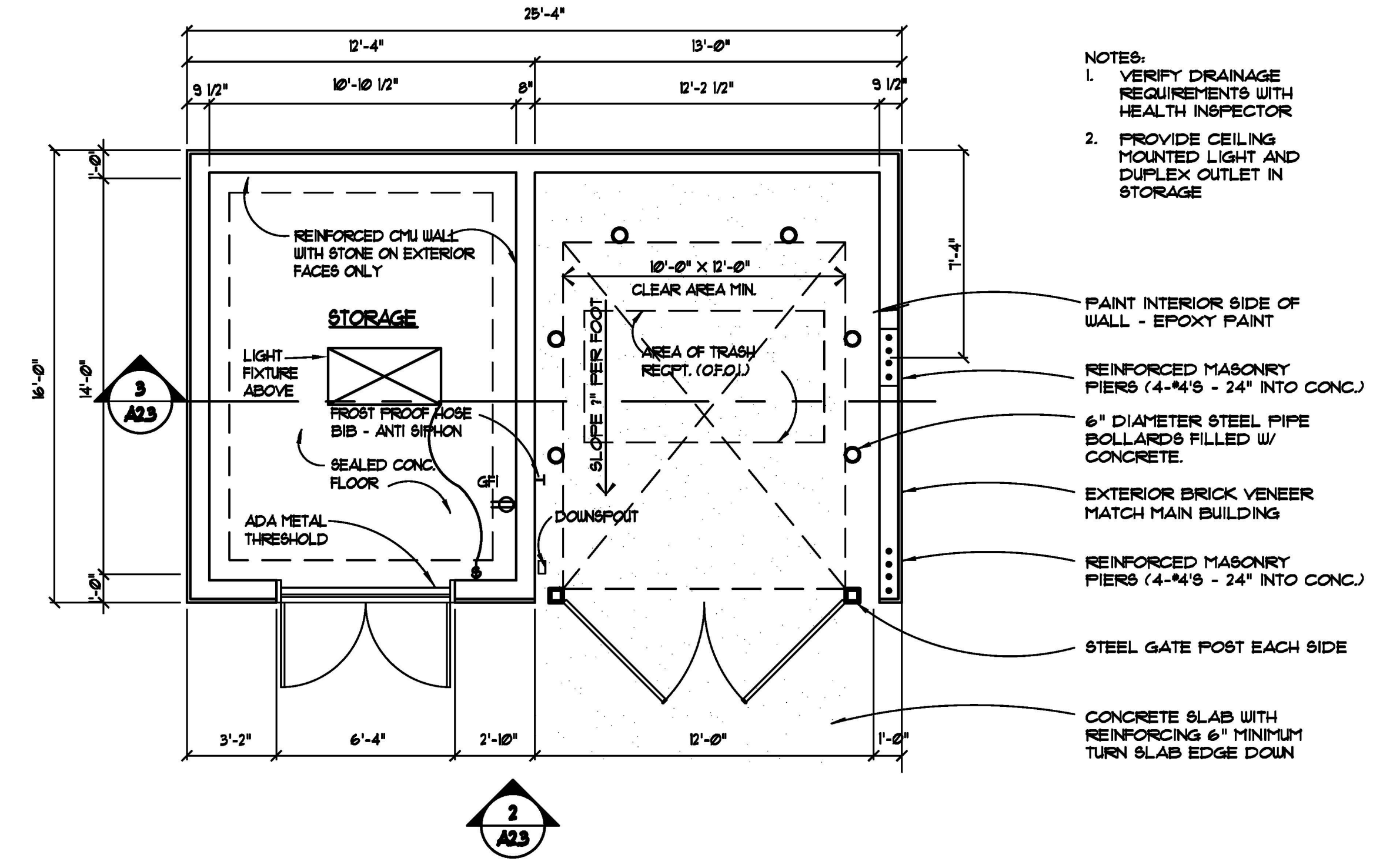
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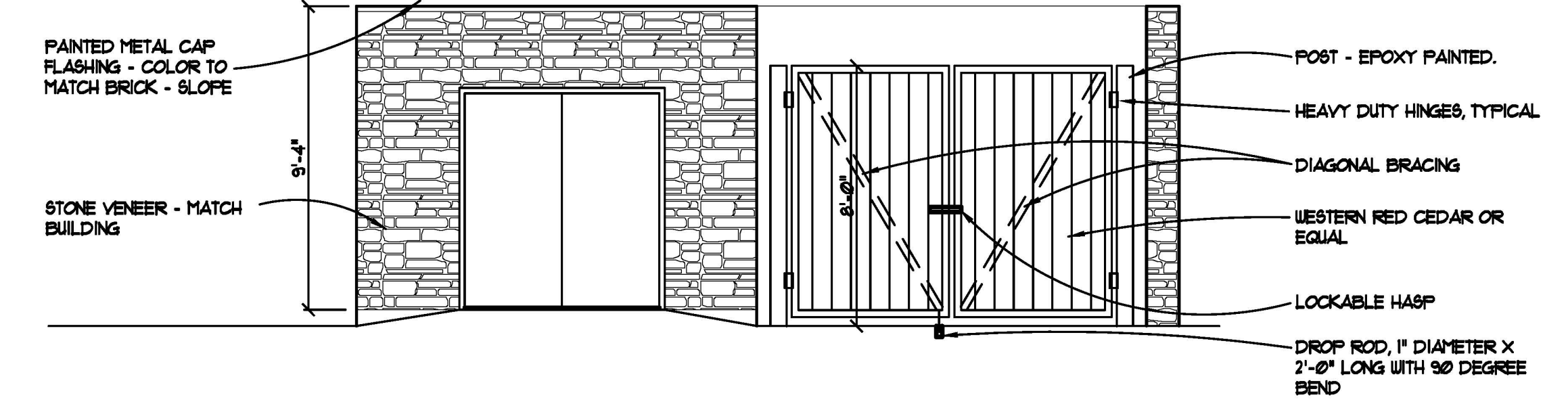


A NEW HOTEL
HAMPTON INN
HUNTLEY, ILLINOIS
HIGHWAY 47
DUMPSTER ENCLOSURE

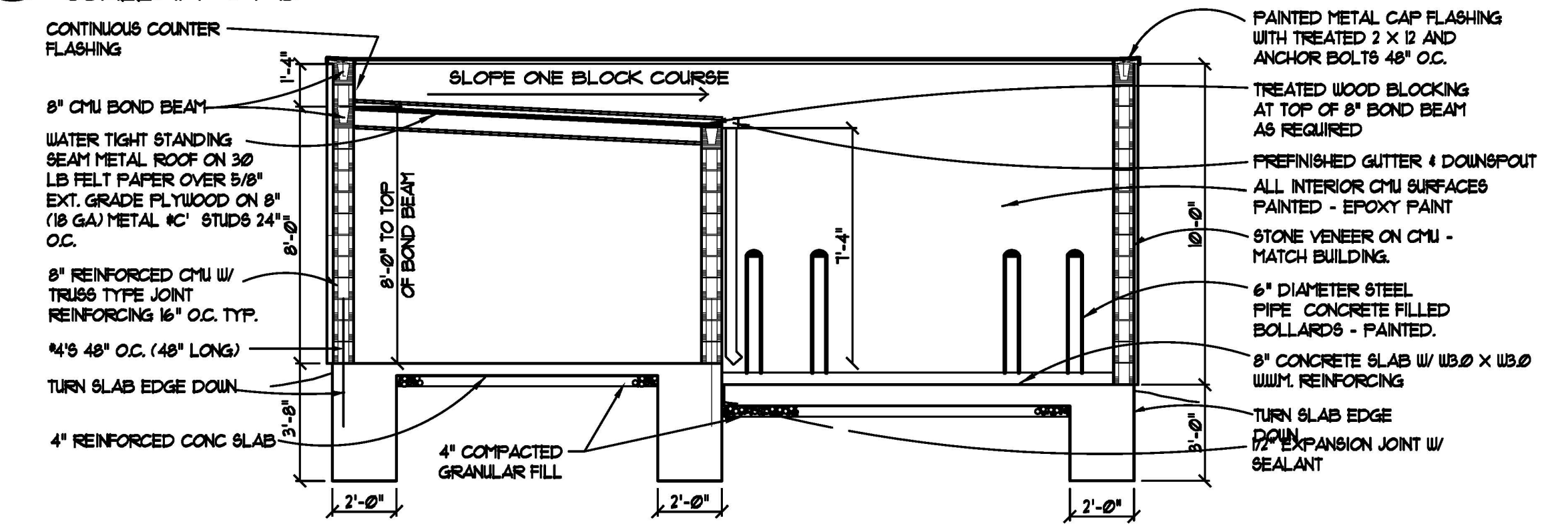
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OF XXI



1 PLAN- EXTERIOR REFUSE RECEPTACLE/ STORAGE
SCALE: 1/4" = 1'-0"

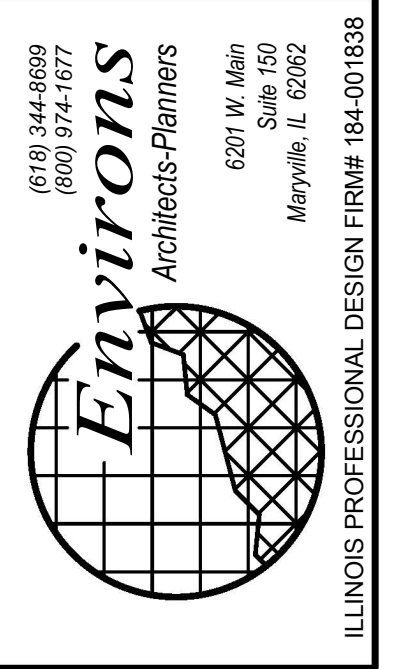
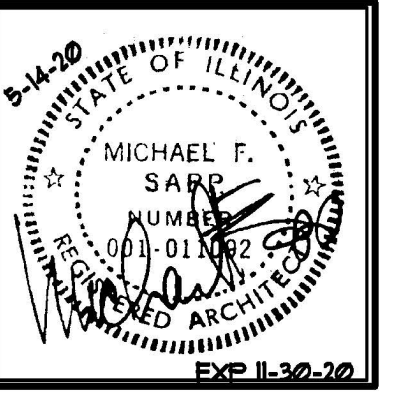
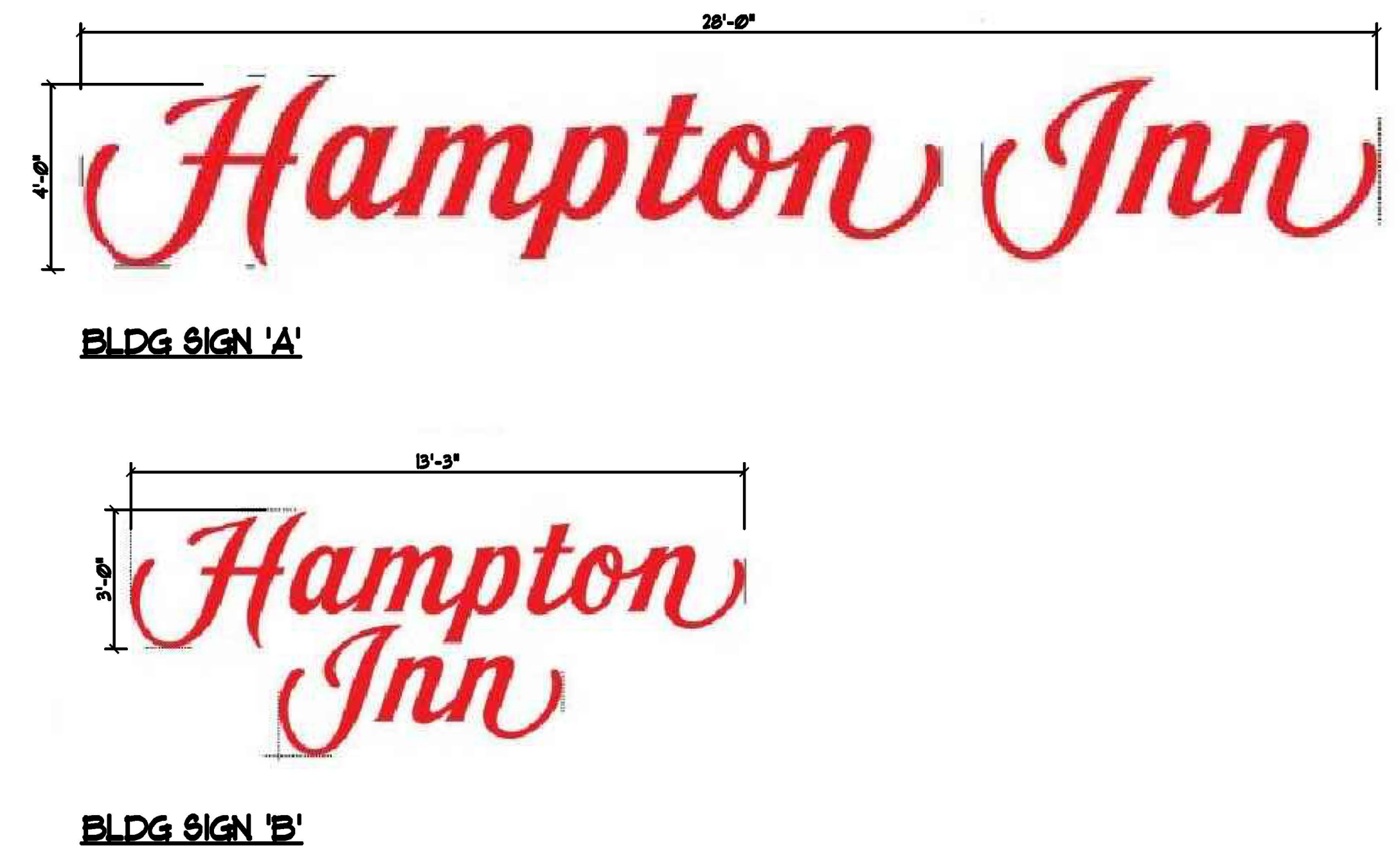
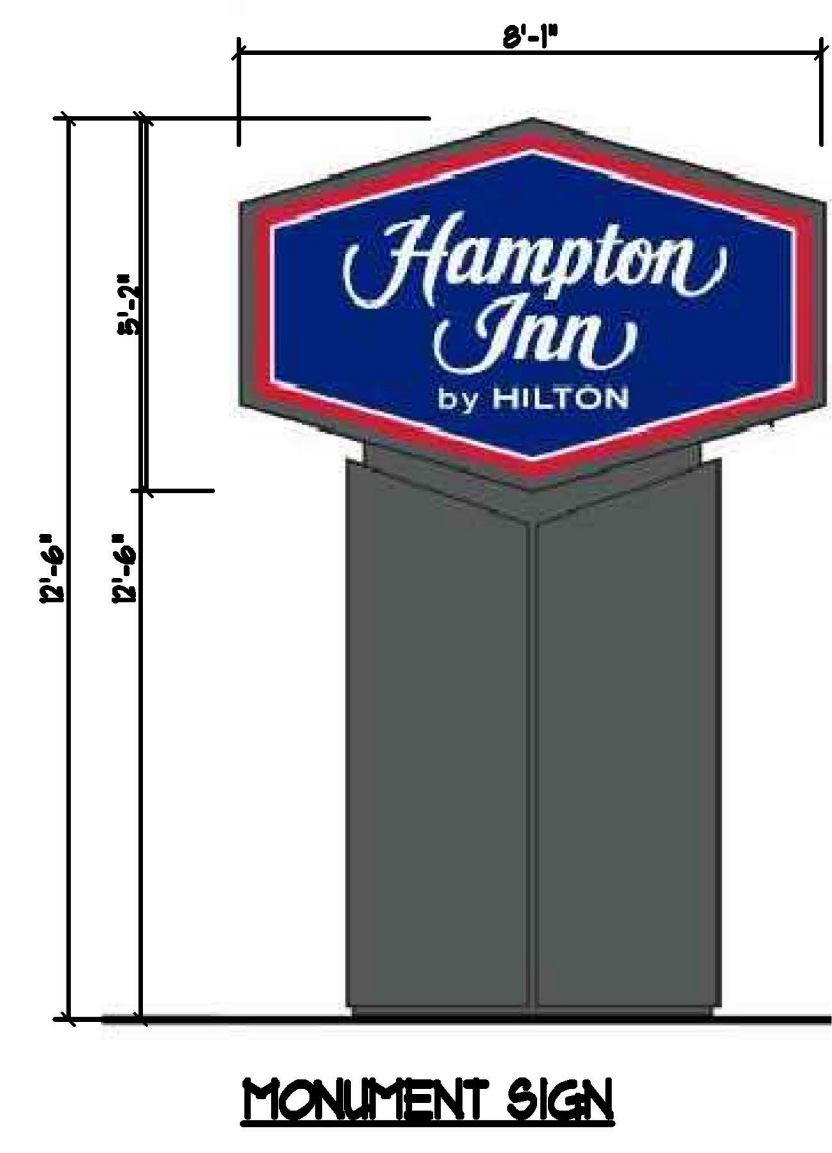
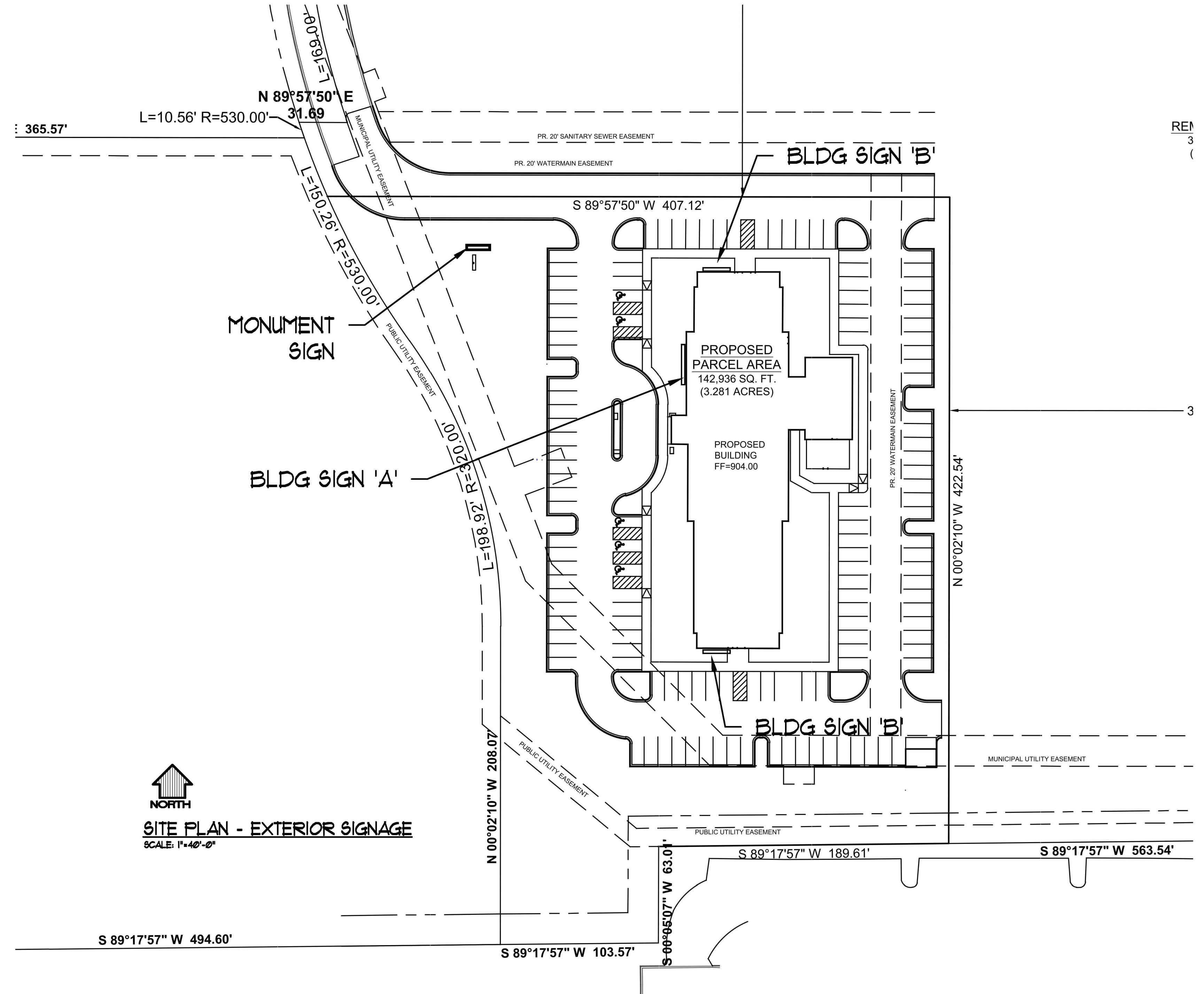
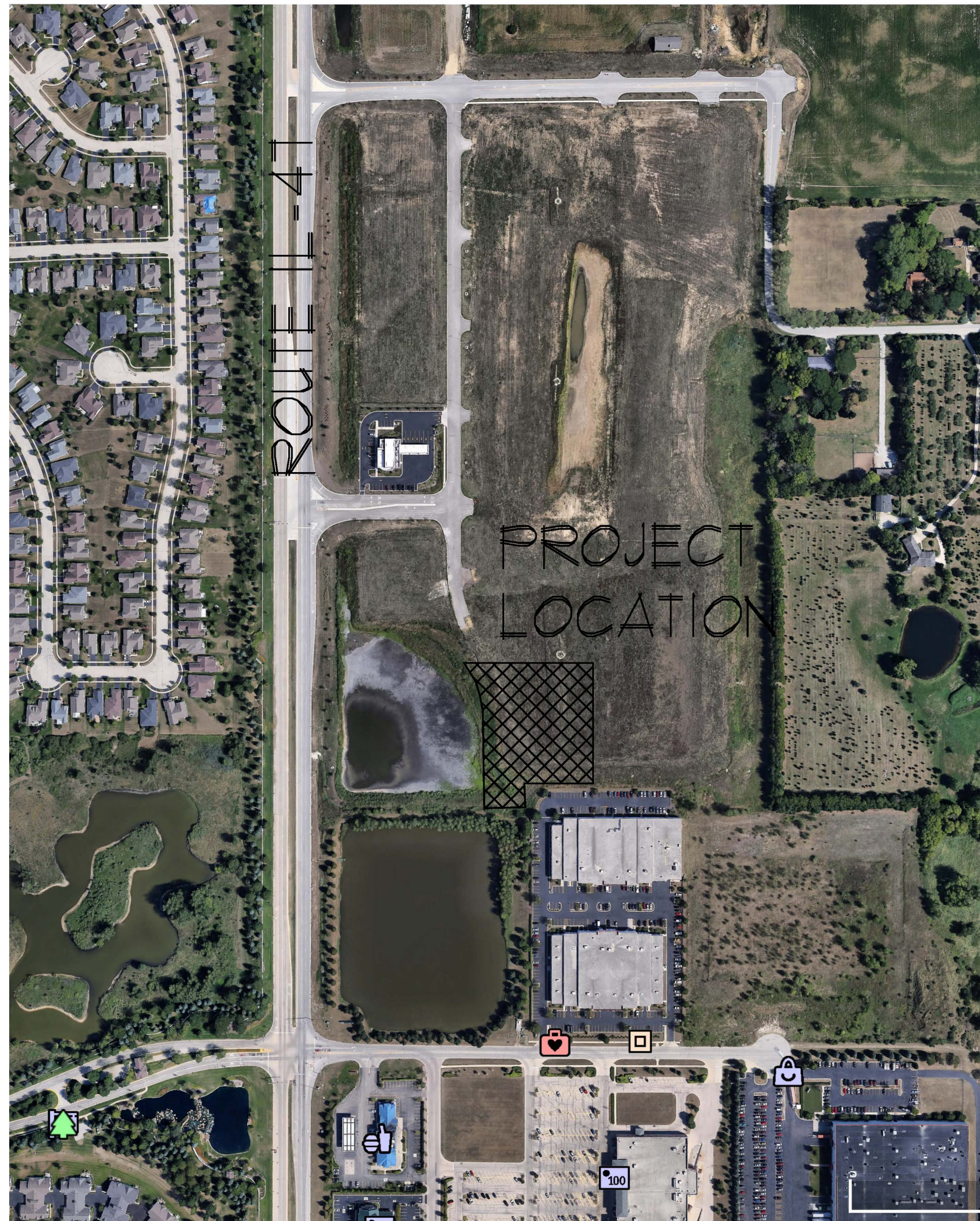


2 ELEVATION- EXTERIOR REFUSE RECEPTACLE/ STORAGE
SCALE: 1/4" = 1'-0"



3 SECTION- EXTERIOR REFUSE RECEPTACLE/ STORAGE
SCALE: 1/4" = 1'-0"

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JOB NO.
20003

DATE:
MAY 14, 2020

REVISED:



A NEW HOTEL:
HAMPTON INN
HUNTLEY, ILLINOIS
HIGHWAY 47
SITE SIGNAGE PLAN

SHEET
CS-1
OF XXI

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LANDSCAPE PLAN FOR:

HAMPTON INN HUNTLEY

13000 Illinois Route 47
Huntley, IL 60142

Site Location Map



Owner:
Woodstock Hotel, Inc.
10740 Bull Valley Drive
Woodstock, IL 60098
847.471.5100

Engineer:
Joseph A. Schudt & Associates
9455 Enterprise Dr.
Mokena, IL 60448
708.720.1000

Architect:
Envisions Architect/Planners
6201 W. Main, Suite 150
Maryville, IL 62062
618.344.8699

Landscape Architect:
Metz & Company
826 E. Maple Street
Lombard, IL 60148
630.561.3903

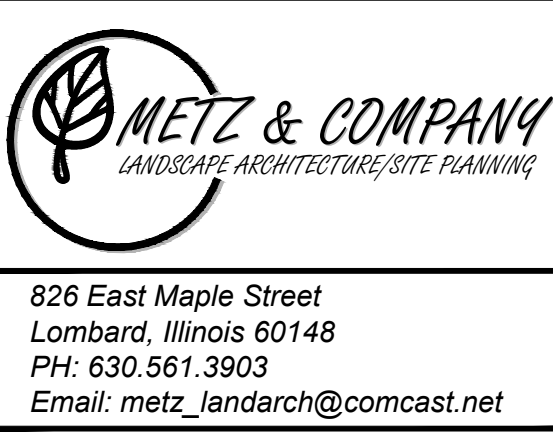
SHEET INDEX

SHEET	DESCRIPTION
CS-1	COVER SHEET
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE SPECIFICATIONS

REVISIONS	

HAMPTON INN - HUNTLEY
13000 ILLINOIS ROUTE 47
HUNTLEY, ILLINOIS

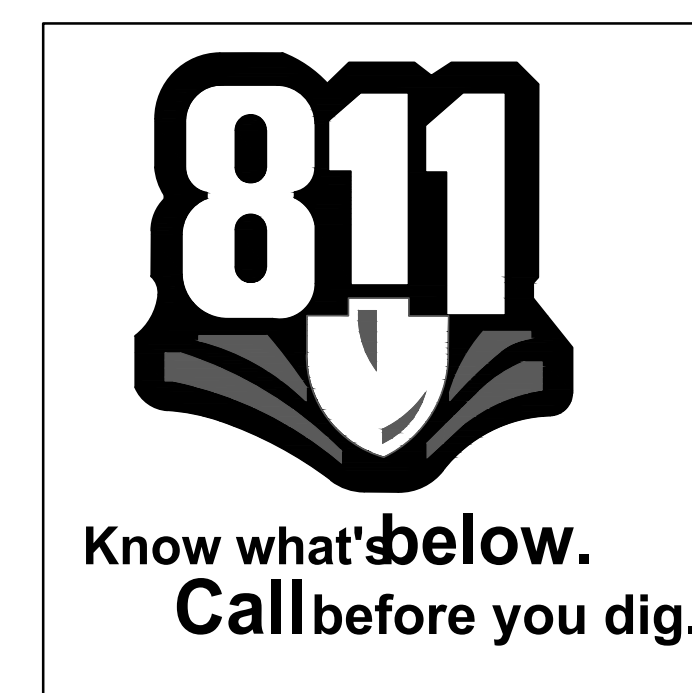
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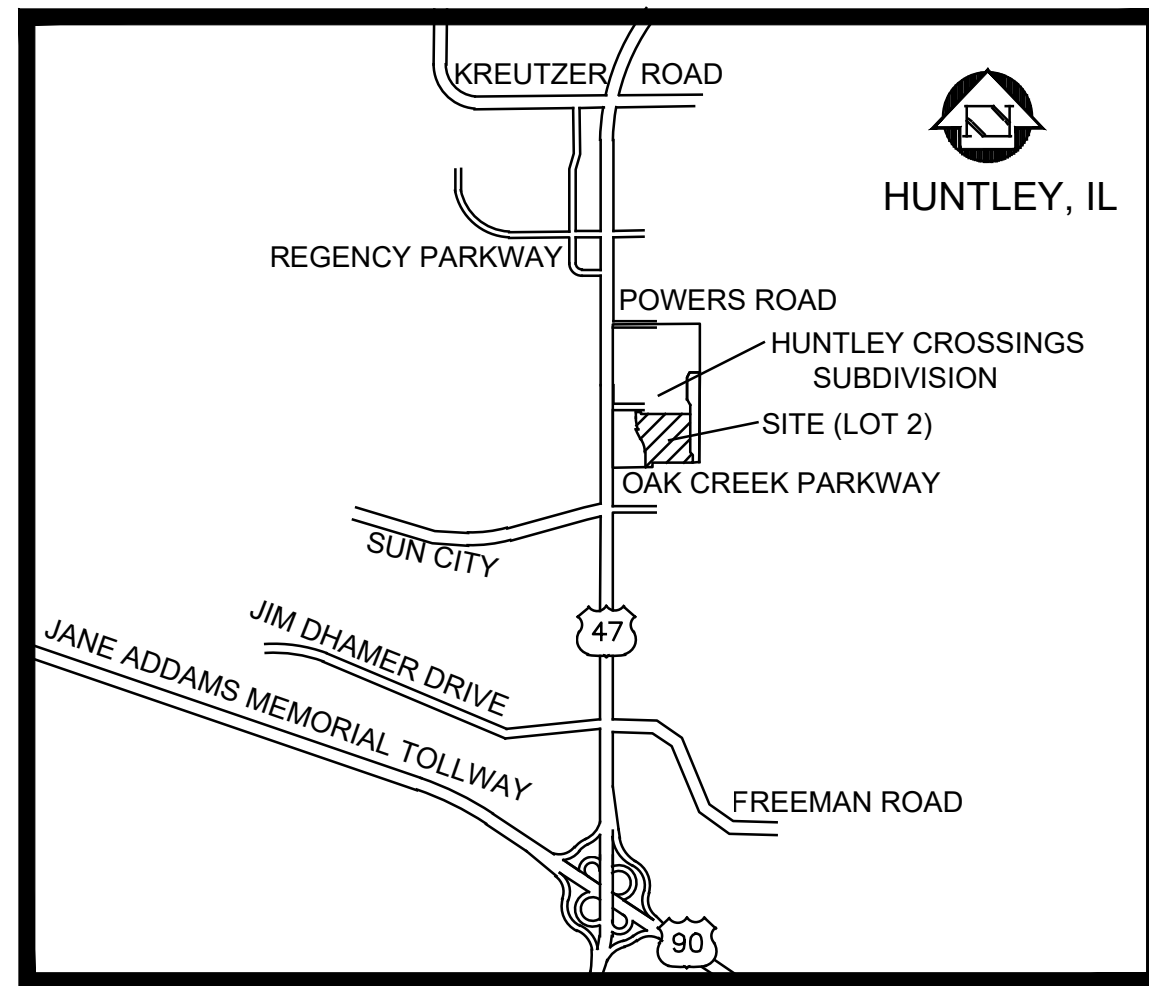
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COVER SHEET

PROJECT NO.:
20-133
DATE: 6-22-20
SCALE: 1"=30'

SHEET
CS-1



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VICINITY MAP

(NOT TO SCALE)



NOTE:

1. The Village of Huntley - Village Engineers Department (Telephone 1-847-515-5222), Village Development Services Department (Telephone 1-847-515-5252), Public Works (Telephone 1-847-515-5200), and Joseph A. Schudt & Associates (Telephone 1-708-720-1000), must be notified 2 working days prior to commencement of work.
2. Elevation is U.S.G.S. Datum. (NAVD 88)



13000 ILLINOIS ROUTE 47
HUNTLEY, IL 60142

SITE IMPROVEMENT PLANS

OWNER / DEVELOPER
WOODSTOCK HOTEL, INC.
10740 BULL VALLEY DRIVE
WOODSTOCK, IL 60098
ATTN: HETAN PATEL
patelhenry@yahoo.com
PHONE: 847.471.5100

ARCHITECT
ENVIRONS ARCHITECTS-PLANNERS
6201 W. MAIN SUITE 150
MARYVILLE, IL 62062
ATTN: MICHAEL SAPP
msapp@environsap.com
PHONE: 618.344.8699

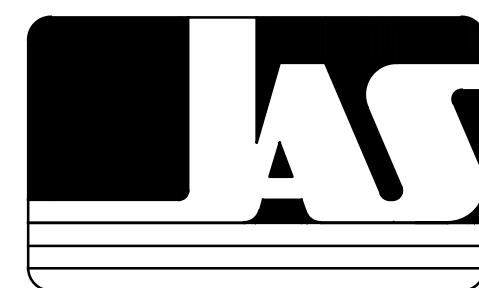
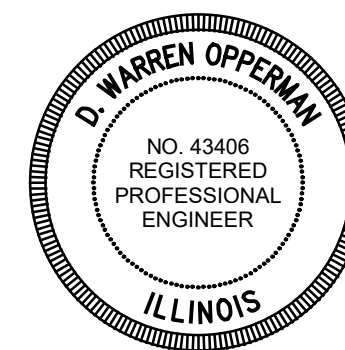
DRAINAGE CERTIFICATION

I, D. Warren Opperman, hereby certify that adequate storm water storage and drainage capacity has been provided for this development, such that surface water from the development will not be diverted onto and cause damage to adjacent property for storms up to and including the one hundred (100) year event, and that the design plans are in compliance with all applicable state, county, and Village ordinance.

[Signature]
ILLINOIS PROFESSIONAL ENGINEER NO. 062-043406

DUTY TO INDEMNIFY

The Contractor shall defend, indemnify, keep and save harmless the Village, Owner, and Engineer, and their respective board members, representatives, agents, and employees, in both individual and official capacities, against all suits, claims, damages, losses and expenses, including attorney's fees, caused by, growing out of, or incidental to, the performance of the work under the Contract by the Contractor or its subcontractors to the full extent as allowed by the laws of the State of Illinois and not beyond any extent which would render these provisions void or unenforceable. This obligation includes but is not limited to: The Illinois laws regarding structural work (Ill. Rev. Stat. Ch.48, par.60 et seq.). And regarding the protection of adjacent landowners (Ill.Rev. Stat. Ch.17 1/2 par.51 et seq.). In the event of any such injury (including death) or loss or damage, or claims therefore, the Contractor shall give prompt notice to the owner.



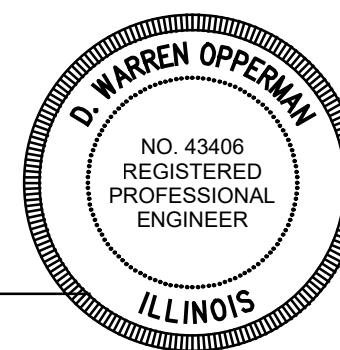
Joseph A. Schudt & Associates
9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-001172

PREPARED BY OR UNDER THE DIRECTION OF:

[Signature]
ILLINOIS PROFESSIONAL ENGINEER NO. 062-043406



SIGNED: 6-24-20
LIC. EXP: 11-30-21

CONTACT JULIE AT 811 OR 800-892-0123
WITH THE FOLLOWING INFORMATION

COUNTY-NAME KANE
CITY / TOWNSHIP HUNTLEY
SEC & 1/4 SEC No. NE 1/4 S-42-7



Know what's below.
Call before you dig.

48 HOURS (2 days) BEFORE YOU DIG

LEGEND			
⊙	EXISTING SANITARY MANHOLE	★	PROPOSED LIGHT
●	PROPOSED SANITARY MANHOLE	---	EXISTING CONTOUR LINE
---	EXISTING SANITARY SEWER	---	PROPOSED CONTOUR LINE
---	PROPOSED SANITARY SEWER	==	EXISTING CURB
⊗	EXISTING VALVE IN VAULT	==	PROPOSED CURB
⊗	PROPOSED VALVE IN VAULT	#####	EXISTING CURB TO BE REMOVED
⊗	EXISTING VALVE	---	PROPOSED HUNG CURB
⊗	PROPOSED VALVE	⊖	EXISTING POWER POLE
△	EXISTING REDUCER	⊖	EXISTING TRANSFORMER
▲	PROPOSED REDUCER	⊖	EXISTING ELECTRIC MANHOLE
⊕	EXISTING HYDRANT	—E—	EXISTING ELECTRIC CABLE
⊕	PROPOSED HYDRANT	△	EXISTING TELEPHONE PEDESTAL
—W—	EXISTING WATERMAIN	⊖	EXISTING TELEPHONE MANHOLE
—P-W—	PROPOSED WATERMAIN	—T—	EXISTING TELEPHONE CABLE
⊖	EXISTING STORM MANHOLE	⊖	EXISTING TRAFFIC SIGNAL
⊖	PROPOSED STORM MANHOLE	[h]	EXISTING HAND HOLE
⊖	EXISTING CATCH BASIN	⊖	EXISTING GAS VALVE
⊖	PROPOSED CATCH BASIN	—G—	EXISTING GAS MAIN
⊖	EXISTING INLET	—CIV—	EXISTING CABLE T.V.
⊖	PROPOSED CIRCULAR INLET	⊕	EXISTING BORING LOCATION
⊖	PROPOSED INLET	—	EXISTING SIGN
---	EXISTING STORM SEWER	---	EXISTING FENCE LINE
---	PROPOSED STORM SEWER	⊖	EXISTING DECIDUOUS TREE
---	EXISTING CULVERT	⊖	EXISTING EVERGREEN
---	PROPOSED CULVERT	⊖	EXISTING BUSH/HEDGE
☆	EXISTING LIGHT	⊖	EXISTING WETLAND

INDEX	
Sheet Number	Sheet Title
1	COVER SHEET
2	HUNTLEY MATERIAL LIST
3	HUNTLEY GENERAL NOTES
4	EXISTING TOPOGRAPHY
5	SITE GEOMETRIC PLAN
6	SITE GRADING PLAN
7	SOIL EROSION & SEDIMENT CONTROL PLAN
8	SITE UTILITY PLAN
9	STORM WATER POLLUTION PREVENTION PLAN
10	CONSTRUCTION DETAILS
11	CONSTRUCTION DETAILS
12	CONSTRUCTION DETAILS

PROJECT SITE SUMMARY

PROPERTY LEGAL DESCRIPTION:

LOT 2 IN HUNTLEY CROSSINGS, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 28, 2007 AS DOCUMENT NO. 2007K099803 IN KANE COUNTY, ILLINOIS.

PROPERTY ADDRESS: 13000 ILLINOIS ROUTE 47, HUNTLEY, IL 60142

PROPERTY INDEX NUMBER: 02-04-351-006-0000

TOTAL CONTIGUOUS OWNERSHIP: 11.271 ACRES

PROJECT AREA: 3.711 ACRES

DISTURBANCE AREA: 3.86 ACRES

BENCHMARKS:

SOURCE BENCHMARK:

STATION NAME: VOH 8

STATION LOCATION:

2" BRONZE DISC SET IN CONCRETE SIDEWALK AT NORTHWEST CORNER OF THE VISITOR CHECK IN BUILDING OF DEL WEBB'S SUN CITY SUBDIVISION.

ELEVATION: 900.79 (NAVD 88)

SITE BENCHMARK:

ARROW BOLT ON TOP OF FIRE HYDRANT AT NORTHEAST CORNER OF PARKING LOT AT SOUTH PROPERTY LINE. ELEVATION: 906.64 (NAVD 88)

No.	Date	By	Revision Per Village	Description
1	6-24-20	TMF	REVISION PER VILLAGE	

Date:	Drawn:	Project No.
5-14-20	TMF	20-019
Design:	Approved:	
DWO	DWO	

REVISIONS

SHEET 1 OF 12

VILLAGE OF HUNTLEY



APPROVED MATERIAL LIST

All material substitutions shall be approved by the Village of Huntley prior to installation. Documentation of approved substitution must be provided to the Village of Huntley.

Materials, products or standards listed in the Approved Material List (AML) supersede any references made in the Subdivision Regulations. Conflicts in material or specifications shall be reviewed by the Director of Public Works and Engineering. Final judgement shall be reserved for the Village of Huntley.

APPROVED MATERIAL LIST WATER DISTRIBUTION SYSTEM

- 1) **Water Main Pipe:**
 - a. Ductile iron Class 52, conforming to ANSI/AWWA C151/A21.51:
 - i. Cement Lining, conforming to ANSI/AWWA C104/A21.4
 - ii. Mechanical or push-on joints shall conform to ANSI/AWWA C111/A21.11
 - iii. All DIP water mains shall be encased in an 8 mil high density polyethylene encasement with its material specifications and installation method in accordance with ANSLAWWA C105/A21.5, ASTM A674, using "Method A" installation
 - iv. Brass wedges shall be installed to provide electrical conductivity
 - b. PVC pipe:
 - i. 8-inch through 12-inch shall be C900 DR-18
 - ii. 14-inch through 18-inch shall be C905 DR-18
 - iii. 20-inch and 24-inch shall be C905 DR-25
 - iv. All PVC water main shall be installed with a minimum 10 gauge solid copper tracer wire. The wire shall be continuous through the valve vaults and boxes and shall be accessible at grade within the vault frame or box
- 2) **Water Main Fittings:**
 - a. All fittings shall be mechanical joint ductile iron and shall conform to ANSI/AWWA C110/A21.10 or ANSI/AWWA C153/A21.53 and cement lined in accordance with ANSI/AWWA C104/A21.4. Fittings shall be U.L. Listed Class 350 and shall be manufactured in the United States
- 3) **Fire Hydrants:**
 - a. Approved Model:
 - i. Shall meet AWWA C-502
 - ii. Mueller Super Centurion A-423 break away style traffic design
 - b. All hydrants shall include (Refer to standard Fire Hydrant Detail):
 - i. 6" mechanical joint connection with retainer glands
 - ii. 5 1/4" valve opening
 - iii. One 4 1/2" pumper nozzle and two 2 1/2" hose nozzles
 - iv. 6" auxiliary valve and box with valve box stabilizer on lateral
 - v. Standard "Hydra-Finder" hydrant locator including 3/8" white laminar matrix fiberglass 5' long corrosion and UV resistant shaft with 6" wide red reflective tape, flag and spring
 - c. Fire Hydrant Paint: All publicly owned hydrants shall be painted red. All privately owned hydrants shall be painted yellow
- 4) **Valves:**
 - a. 6" through 10" diameter: Cast iron body, bronze fitted, resilient wedge gate valve with non-rising stem, standard operating nut and open in a counter clockwise direction. Resilient wedge gate valves shall be Mueller A-2360 Series in accordance with AWWA C-509
 - b. 12 inches and larger: Cast iron body, rubber seat type butterfly valves. All valves shall open counter clockwise with non-rising stem. Butterfly valves shall be Class 150B Mueller B-3211 in accordance with AWWA C-504

APPROVED MATERIAL LIST WATER DISTRIBUTION SYSTEM - CONTINUED

- 5) **Valve Box:**
 - a. Valve boxes shall be cast iron, two (2) piece 5/8" shafts screw type Tyler Model 666-S and installed on the valve with an Adaptor II valve box stabilizer as manufactured by Adaptor, Inc. Lids shall be marked "Water"
- 6) **Valve Vaults:**
 - a. Precast reinforced vaults in accordance with ASTM C478 are required for all valves greater than 10" and all valves located in pavement
 - b. Size:
 - i. through 8" valves.....Min. 4' inside diameter vault
 - ii. 10" and larger valves.....Min. 5' inside diameter vault
 - iii. Pressure Taps.....Min. 5' inside diameter vault
 - c. Valve Vault Frame & Lids:
 - i. Neenah R-1712, self-sealing Type B cover or East Jordan Iron Works 1050 with self-sealing cover
 - ii. The words "WATER" and "VILLAGE OF HUNTLEY" shall be cast into the surface of the lid
 - d. Valve Vault Seal:
 - i. Barrel sections shall be sealed using butyl rubber sealant
 - ii. The chimney and adjusting rings shall be sealed using an external chimney seal as manufactured by Adaptor, Inc.
 - iii. A watertight flexible pipe-to-manhole connector shall be employed in the connection of the water main pipe to precast vaults. The connector shall consist of a rubber gasket, an internal expansion sleeve, and one or more external compression take-up clamps. Approved materials for the connector shall be natural or synthetic rubber and Series 300 non-magnetic stainless steel. No plastic components shall be permitted. The rubber gasket element shall be constructed solely of synthetic or natural rubber, and shall meet/exceed the requirements of ASTM C 923
- 7) **Joint Restraint:**
 - a. All mechanical joint fittings shall have restraining glands installed:
 - i. DIP MJ restraint device shall be Mega-lug Series 1100 by EBAA Iron or Uni-flange Series 1400 by Ford Company
 - ii. PVC MJ restraint device shall be Mega-lug Series 2000PV by EBAA Iron or Uni-flange Series 1500 by Ford Company
 - b. DIP push joint pipe restraint shall be Field Lok® 350 gaskets by US Pipe or Series 1700 Mega-lug by EBAA Iron or Series 1390 Pipe Restraint by Ford Company
 - c. 900 PVC push joint pipe restraint shall be Series 1900 split serrated restraint harness by EBAA Iron or Series 1390 Pipe Restraint by Ford Company
 - d. C905 PVC push joint pipe restraint shall be Series 2800 Mega-lug restraint harness by EBAA Iron or Series 1390 Pipe Restraint by Ford Company
 - e. Lengths of pipe restraint shall be determined from manufacturer's installation specifications

- 8) **Copper Service Lines:**
 - a. 1.5-inch diameter minimum
 - b. Type K soft copper tubing in accordance with ANSI H23.1
 - c. Compression fittings only
- 9) **Service Line Taps:**
 - a. Service taps of 1 1/2," & 2" require the use of a tapping saddle. Saddles shall be full circle, fusion bonded flexi coat epoxy ductile iron body (per ASTM A536) with double 304-grade stainless steel straps and hardware, and NSF 61 listed TaperSeal Nitrile gasket as manufactured by Smith-Blair; model #317
 - b. Existing service connections less than 1 1/2" may be re-connected upon the authorization of the Director of Public Works utilizing the direct tap method to 6-inch mains and larger only
- 10) **Corporation Stops:**
 - a. Compression fittings
 - i. Mueller B-25008-N (1 1/2-inch and 2-inch)
- 11) **Curb Stops:**
 - a. Compression fittings
 - i. Mueller B-25155-N 300 Ball (1 1/2-inch and 2-inch)
- 12) **Curb Box:**
 - a. Extension type arch pattern Mueller H-10310 with stationary rod
 - b. Lid marked "WATER"
- 13) **Pressure Tapping:**
 - a. Tapping Sleeves:
 - i. Stainless steel meeting AWWA C223 and NSF 61; Mueller H-304, Smith - Blair 665, or Cascade Waterworks CST-EX
 - ii. Flange fasteners shall be 304-grade stainless steel
 - b. Tapping Valve:
 - i. Cast iron body, bronze fitted, resilient wedge gate valve with non-rising stem, standard operating nut and open in a counter clockwise direction. Resilient wedge tapping valves shall be Mueller T-2361 Series in accordance with AWWA C-515 and NSF 61
- 14) **Sampling Station:**
 - a. Unit shall be designed specifically for collecting bacteriological and other water samples at a designated point directly from the water main and shall be model Ecopl Series No. 88 with cold climate protection package as manufactured by Kupferle Foundry

APPROVED MATERIAL LIST SANITARY SEWER SYSTEM

- 1) **Sanitary Sewer Pipe:**
 - a. PVC pipe (depths 15' and less):
 - i. Gravity Sewer: PVC SDR 26 in accordance with D-3034 for pipe diameter 15" and less and F679 for pipe diameter greater than 15". Joints shall be in accordance with ASTM D-3212
 - ii. Pressure Sewer Force Main: 4-inch through 12-inch shall be C900 DR-18; 14-inch through 18-inch shall be C905 DR-18. Elastomeric gasket joints shall be in accordance with ASTM D-3139
 - iii. Pressure Sewer Force Main (only as authorized by Director of Public Works and Engineering): PVC SDR 26 in accordance with D-2241 for pipe diameter 16" and less. Elastomeric gasket joints shall be in accordance with ASTM D-3139
 - b. Polypropylene (PP - depths 15' and less):
 - i. Gravity Sewer (12" through 30"): Dual wall construction; Smooth interior and annular exterior corrugations with bell & spigot joints meeting ASTM F-2736; watertight flexible elastomeric seals conforming to ASTM D-3212 and F-477
 - c. Ductile iron (depths greater than 15 feet):
 - i. Class 52 conforming to ANSI/AWWA C151/A21.51
 - ii. Mechanical or push-on joints shall conform to ANSI/AWWA C111/A21.11
 - iii. All DIP sewer mains shall be encased in an 8 mil high density polyethylene encasement with its material specifications and installation method in accordance with ANSLAWWA C105/A21.5, ASTM A674, using "Method A" installation
 - iv. Brass wedges shall be installed to provide electrical conductivity
- 2) **Sewer Force Main Fittings:** All fittings shall be mechanical joint ductile iron and shall conform to ANSI/AWWA C110/A21.10 or ANSI/AWWA C153/A21.53. Fittings shall be U.L. Listed Class 350 and shall be manufactured in the United States
- 3) **Sewer Force Main Joint Restraint:**
 - a. All mechanical joint fittings shall have restraining glands installed:
 - i. DIP MJ restraint device shall be Mega-lug Series 1100 by EBAA Iron or Uni-flange Series 1400 by Ford Company
 - ii. PVC MJ restraint device shall be Mega-lug Series 2000PV by EBAA Iron or Uni-flange Series 1500 by Ford Company
 - b. DIP push joint pipe restraint shall be Field Lok® 350 gaskets by US Pipe or Series 1700 Mega-lug by EBAA Iron or Series 1390 Pipe Restraint by Ford
 - c. 900 PVC push joint pipe restraint shall be Series 1900 split serrated restraint harness by EBAA Iron or Series 1390 Pipe Restraint by Ford
 - d. C905 PVC push joint pipe restraint shall be Series 2800 Mega-lug restraint harness by EBAA Iron or Series 1390 Pipe Restraint by Ford
 - e. Lengths of pipe restraint shall be determined from manufacturer's installation specifications
- 4) **Manholes:**
 - a. Precast reinforced in accordance with ASTM C478. Eccentric cone type unless otherwise indicated on Drawings
 - b. Size:
 - i. through 21" sewer pipe.....Min. 4' inside diameter manhole
 - ii. 24" through 30" sewer pipe.....Min. 5' inside diameter manhole
 - iii. >30" through 48" sewer pipe.....Min. 6' inside diameter manhole
 - c. Manhole Frame & Lids:
 - i. Neenah R-1712, self-sealing Type B cover or East Jordan Iron Works 1050 with self-sealing cover
 - ii. The words "SANITARY" and "VILLAGE OF HUNTLEY" shall be cast into the surface of the lid
 - d. Manhole Seal:
 - i. Barrel sections shall be sealed using butyl rubber sealant and an external butyl joint wrap similar to Barrel Wrap as manufactured by Adaptor, Inc., EZ Wrap as manufactured Press-Seal Gasket Corporation, Infi-Shield Gator Wrap as manufactured by Sealing Systems, Inc., or approved equal
 - ii. The chimney and adjusting rings shall be sealed using an external chimney seal as manufactured by Adaptor, Inc.
 - iii. A watertight flexible pipe-to-manhole connector shall be employed in the connection of the sanitary sewer pipe to precast manholes. The connector shall consist of a rubber gasket, an internal expansion sleeve, and one or more external compression take-up clamps. Approved materials for the connector shall be natural or synthetic rubber and Series 300 non-magnetic stainless steel. No plastic components shall be permitted. The rubber gasket element shall be constructed solely of synthetic or natural rubber, and shall meet/exceed the requirements of ASTM C 923

APPROVED MATERIAL LIST STORM SEWER SYSTEM

- 1) **Storm Sewer Pipe:**
 - a. Reinforced concrete Pipe (RCP):
 - i. Conforming to ASTM C-76
 - ii. Tongue & groove or bell & spigot joints using cement mortar, butyl sealant or o-ring gasket in accordance with ASTM C-351 or C-443
 - iii. Thickness class shall be in accordance with the IDOT Standard Specifications for a given pipe diameter and fill height over the top of pipe
 - b. Polypropylene (PP):
 - i. Dual wall construction
 - ii. Smooth interior and annular exterior corrugations conforming to AASHTO M330 with bell & spigot joints meeting ASTM F-2736 and ASTM F-2881 for the respective diameters; watertight flexible elastomeric seals conforming to ASTM D-3212 and F-477
- When authorized by the Director of Public Works, the following Storm Sewer Pipe materials may be allowed:
- c. PVC pipe (depths 15' and less):
 - i. PVC SDR 26 in accordance with D-3034 for pipe diameter 15" and less and F679 for pipe diameter greater than 15". Joints shall be in accordance with ASTM D-3212
 - ii. Pressure sewer for water main separation requirements: PVC SDR 26 in accordance with D-2241 for pipe diameter 16" and less. C905 DR-18 for 18-inch; C905 DR-25 for 20" and 24". Elastomeric gasket joints shall be in accordance with ASTM D-3139
 - d. Ductile iron pipe (DIP):
 - i. Class 52 conforming to ANSI/AWWA C151/A21.51:
 - ii. Mechanical or push-on joints shall conform to ANSI/AWWA C111/A21.11
 - iii. All DIP sewer mains shall be encased in an 8 mil high density polyethylene encasement with its material specifications and installation method in accordance with ANSLAWWA C105/A21.5, ASTM A674, using "Method A" installation
 - iv. Brass wedges shall be installed to provide electrical conductivity
 - e. High Density Polyethylene (HDPE):
 - i. FOR PRIVATE USE ONLY; NOT ALLOWED ON PUBLIC RIGHT-OF-WAY
 - ii. Smooth interior and annular exterior corrugations conforming to AASHTO M-294 and watertight flexible elastomeric seals conforming to ASTM D-3212 and F-477

- 2) **Manholes:**
 - a. Precast reinforced in accordance with ASTM C478. Eccentric cone type.
 - b. Size:
 - i. through 21" sewer pipe.....Min. 4' inside diameter manhole
 - ii. 24" through 30" sewer pipe.....Min. 5' inside diameter manhole
 - iii. >30" through 48" sewer pipe.....Min. 6' inside diameter manhole
 - iv. greater than 48" sewer pipe.....Special design required
- c. Manhole Frame & Lids:
 - i. Neenah R-1772, Type B cover (cover may be open Type D when specified on drawings) or East Jordan Iron Works 1022
 - ii. The words "STORM" and "VILLAGE OF HUNTLEY" shall be cast into the surface of the lid

- 3) **Inlet and Catch Basin Frame & Lids:**
 - a. Frame & grates: Neenah R-1772, Type D open cover or East Jordan Iron Works 1022
 - b. Combination frame, grate and barrier curb box: Neenah R-3281-A with standard Type C grate
 - c. Combination frame, grate and mountable curb box: Neenah R-3501-TR (flow right) or TL (flow left) with standard Type L grate; alternate to be reviewed on case by case basis to match curb dimensions
 - d. Beehive frame & grates: Neenah R-4340-B

- 4) **Storm Sewer Structure Seal:**
 - a. Precast sections shall be sealed using butyl rubber sealant.
 - b. When storm sewer structure is installed in pavement, the chimney and adjusting rings shall be sealed using an external chimney seal as manufactured by Adaptor, Inc.

APPROVED MATERIAL LIST GENERAL ITEMS

- 1) **Bolts Placed Underground:** All below grade factory installed bolts and fasteners shall be Teflon coated 304-grade stainless steel
- 2) **Casing:**
 - a. Casing Spacers: Carrier pipe shall be centered within a casing by use of model CCS stainless steel Casing Spacers as manufactured by Cascade Waterworks Mfg.
 - b. Casing End Boots: Install model CCES End Boots as manufactured by Cascade Waterworks Mfg.
- 3) **Truncated Dome Detectable Warning Systems:**
 - a. Wet set reinforced polymer type; Brick red color homogenous throughout
 - b. Meeting requirements of Americans with Disabilities Act Accessibility Guidelines, the Illinois Assembly Code and applicable IDOT Standard Details
 - c. Approved Model: as manufactured by ADA Solutions, TufTile, and Armor-Tile (Herculite Series); Use same model throughout development/project
- 4) **Street Signs:**
 - a. Signs: High intensity prismatic meeting MUTCD requirements
 - b. Posts: Telescoping square galvanized tubing with 7/16" holes on all four sides; 10' height
 - i. Approved Model: as manufactured by Telespar
- 5) **Street Name Signs:**
 - a. Signs: High intensity prismatic meeting MUTCD requirements; White letters on green background
 - b. Posts: Round galvanized socket and wedge post; 2-3/8" outside diameter; 12' height
 - i. Approved Model: as manufactured by Telespar
- 6) **Reflective Pavement Markers:**
 - a. Type: Recessed
 - b. Approved Model: R-100 as manufactured by Marker One
- 7) **Street Lighting:**
 - a. To be reviewed on a project by project basis

Joseph A. Schudt & Associates
9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

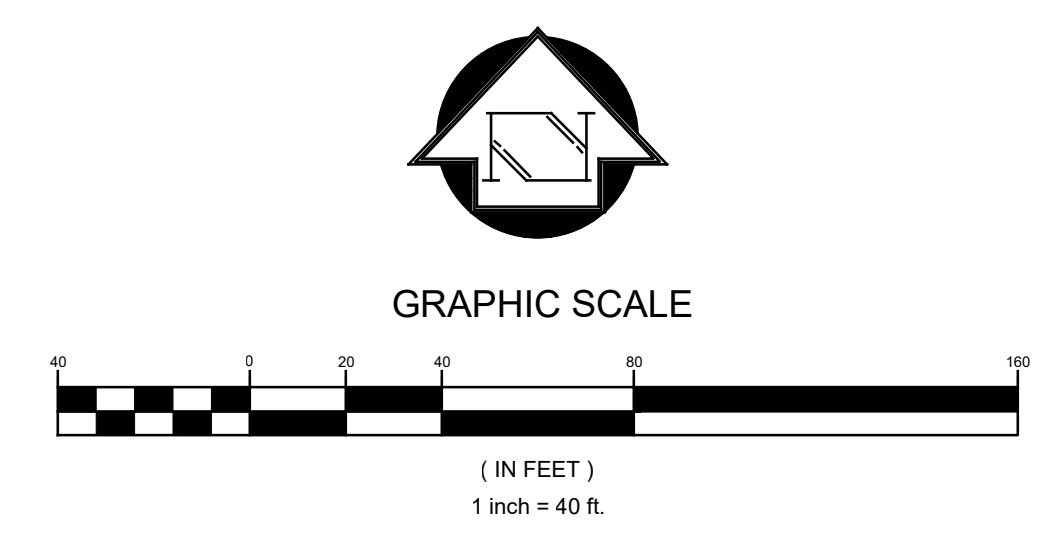
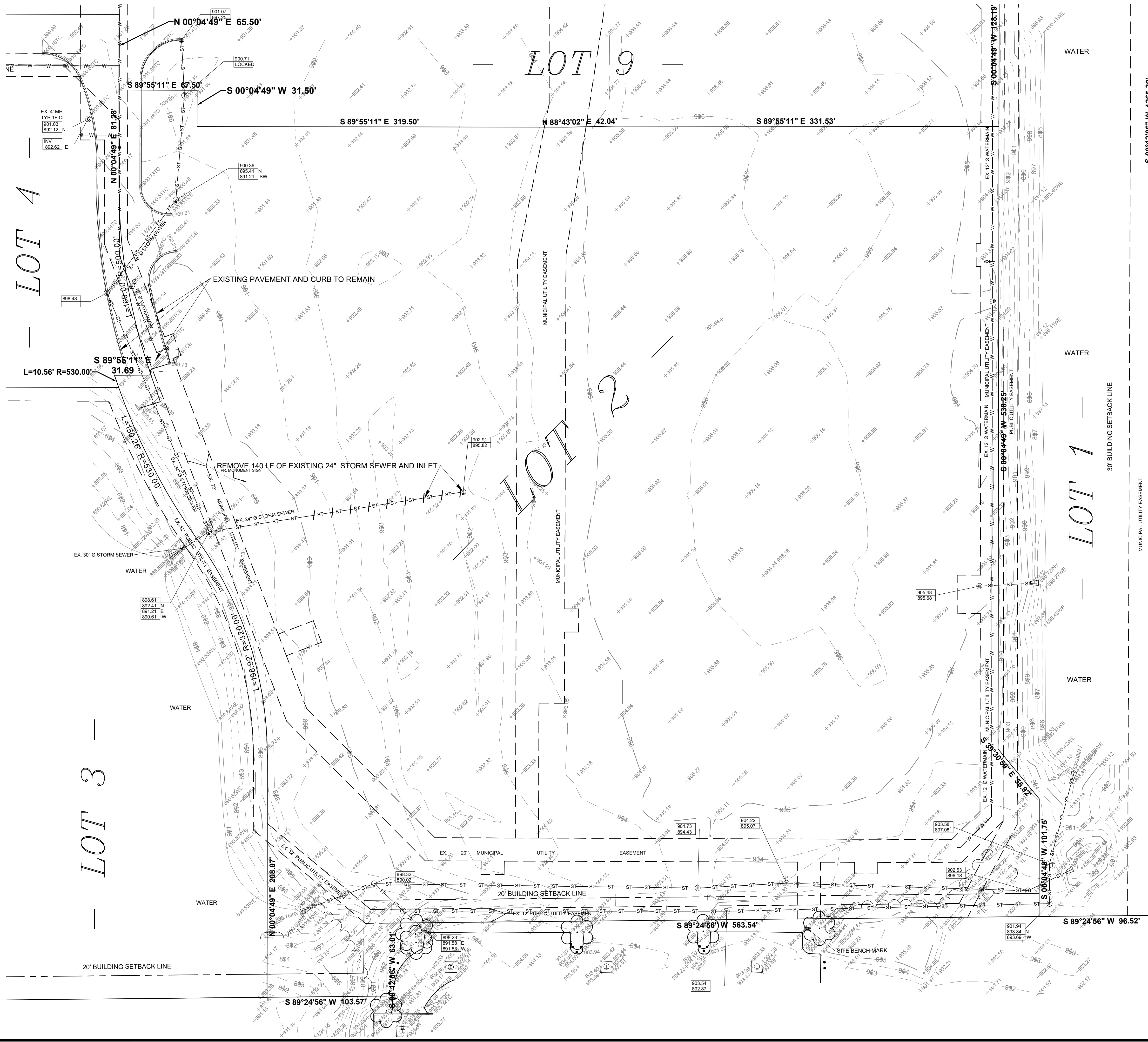
REVISIONS: 6-24-20

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**HAMPTON INN
HUNTLEY, IL
HUNTLEY MATERIAL LIST**

Date: 5-14-20
Scale: NONE
File Name: 2019-HAMPTON INN PLAN REV PLAN 5-20
Drawn: TMF
Checked: DWO
Sheet:
2 OF 12
Project No.:
20-019

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Joseph A. Schuddt & Associates
 9455 ENTERPRISE DRIVE
 MOKENA, IL 60448
 PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065
 (184-001172)

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

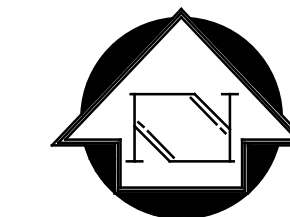
REVISIONS: 6-24-20

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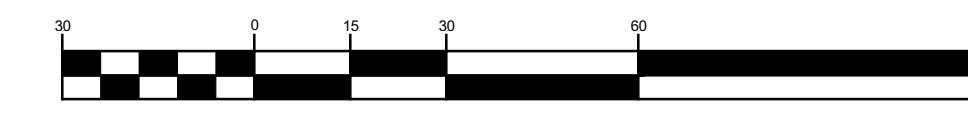
**HAMPTON INN
 HUNTLEY, IL**

EXISTING TOPOGRAPHY

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 Drawn: TMF
 Checked: DWO
 Sheet:
4 OF 12
 Project No.:
20-019

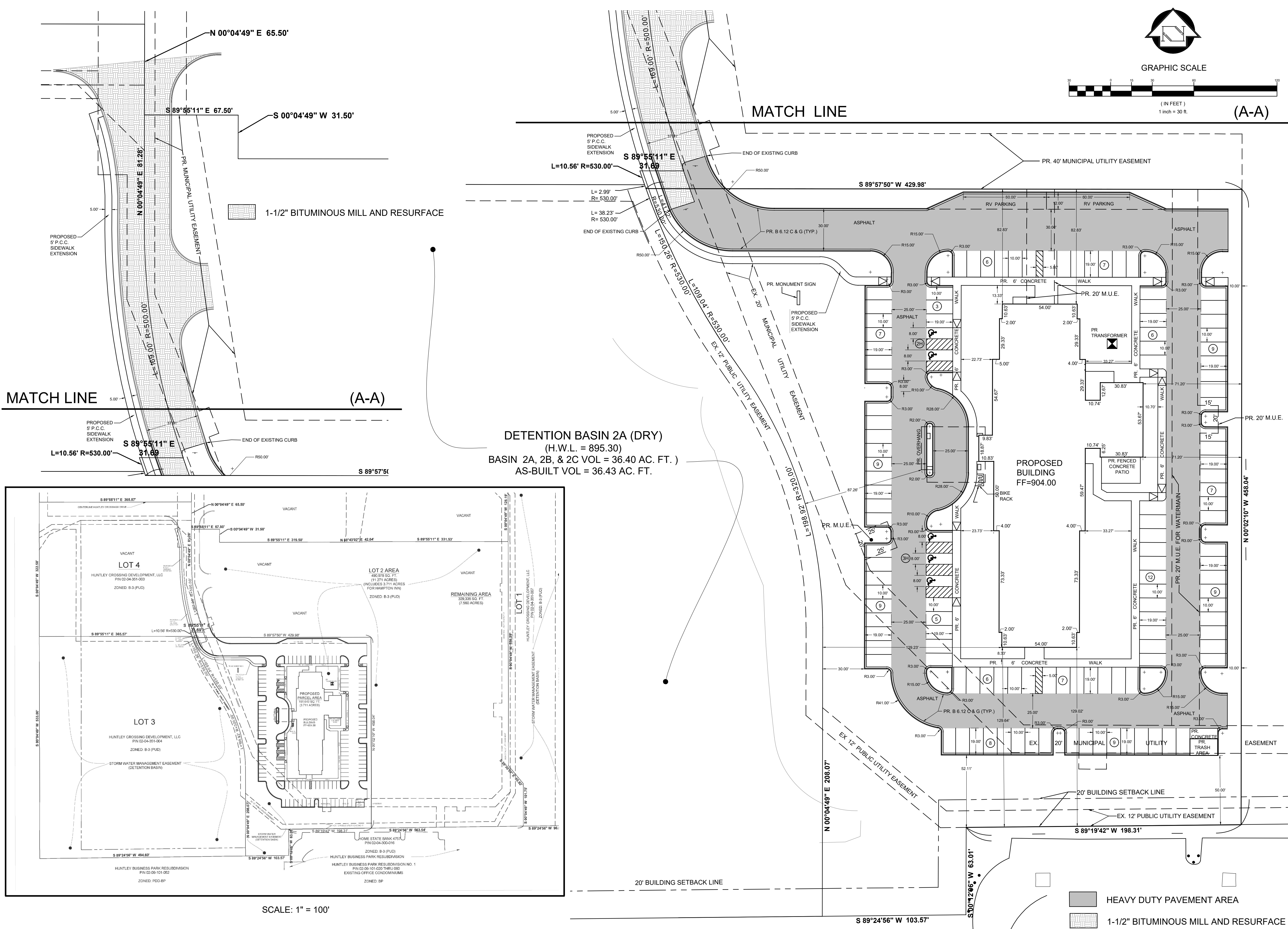


GRAPHIC SCALE



(IN FEET)

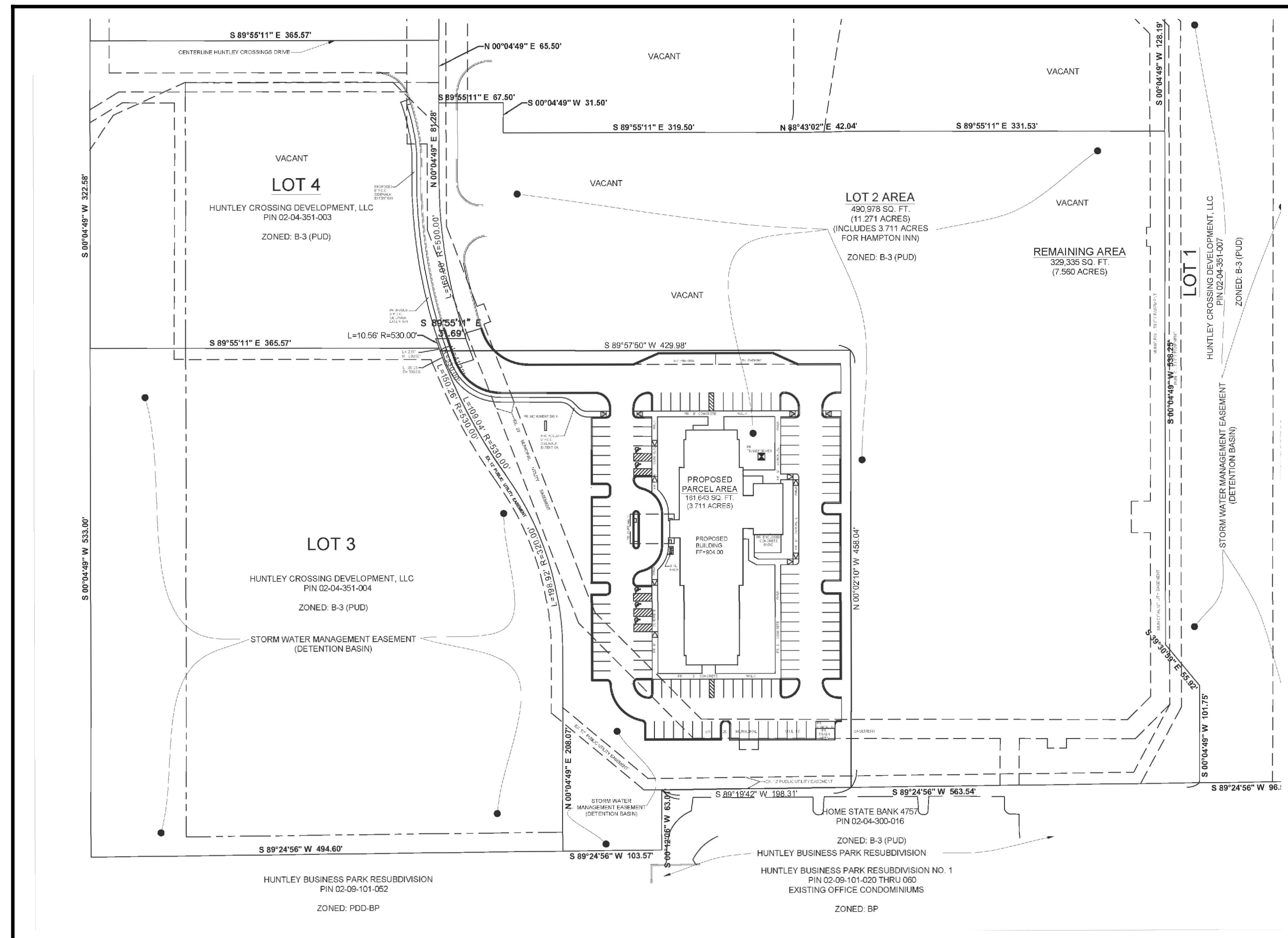
1 inch = 30 ft. (A-A)



MATCH LINE (A-A)

MATCH LINE

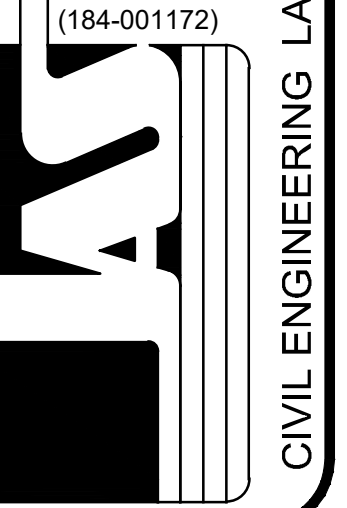
DETENTION BASIN 2A (DRY)
(H.W.L. = 895.30)
BASIN 2A, 2B, & 2C VOL = 36.40 AC. FT.)
AS-BUILT VOL = 36.43 AC. FT.



SCALE: 1" = 100'

- HEAVY DUTY PAVEMENT AREA
- 1-1/2" BITUMINOUS MILL AND RESURFACE

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 MOKENA, IL 60448
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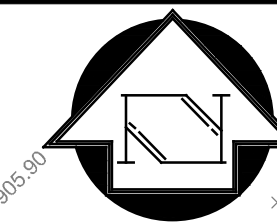


REVISIONS: 6-24-20
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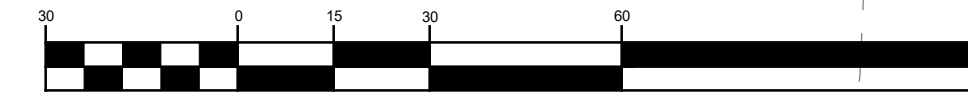
HAMPTON INN
 HUNTLEY, IL
 SITE GEOMETRIC PLAN

Date: 5-14-20
 Scale: 1" = 30'
 File Name: 2020HAMPTONINN.PLAN.PRD.PLAN.5120
 Drawn: TMF
 Checked: DWO
 Sheet: 5 OF 12
 Project No.: 20-019

M:\2020\04-019 Huntley Crossing Hotel\Drawings\Construction\Drawings\20-019HAMPTON INN.PLAN.PRD.PLAN.5120.5-GEOM. (Printed: 6/24/2020 2:09 PM) By: T.Horne, Copyright 2020 - JOSEPH A. SCHUDT & ASSOCIATES



GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

(A-A)

MATCH LINE

MATCH LINE

(A-A)

DETENTION BASIN 2A (DRY)
 (H.W.L. = 895.30)
 BASIN 2A, 2B, & 2C VOL = 36.40 AC. FT.)
 AS-BUILT VOL = 36.43 AC. FT.

LEGEND:

- x 904.94 EXISTING TOPOGRAPHY ELEVATION
- 904.30 PROPOSED ELEVATION
- 905 - EXISTING GROUND CONTOUR ELEVATION
- 904 - PROPOSED GROUND CONTOUR ELEVATION
- TC TOP OF CURB
- P PAVEMENT
- TW TOP OF WALK
- FF FINISH FLOOR
- R RIM
- ← OVERLAND FLOOD ROUTE
- - - - - LIMIT OF DISTURBANCE AREA: 3.86 ACRES

NOTE:
 SEE SHEET 7 OF 12
 FOR REMAINING SILT
 FENCE LOCATIONS.

S 89°57'51"

Joseph A. Schudt & Associates
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 (184-001172)

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REVISIONS: 6-24-20

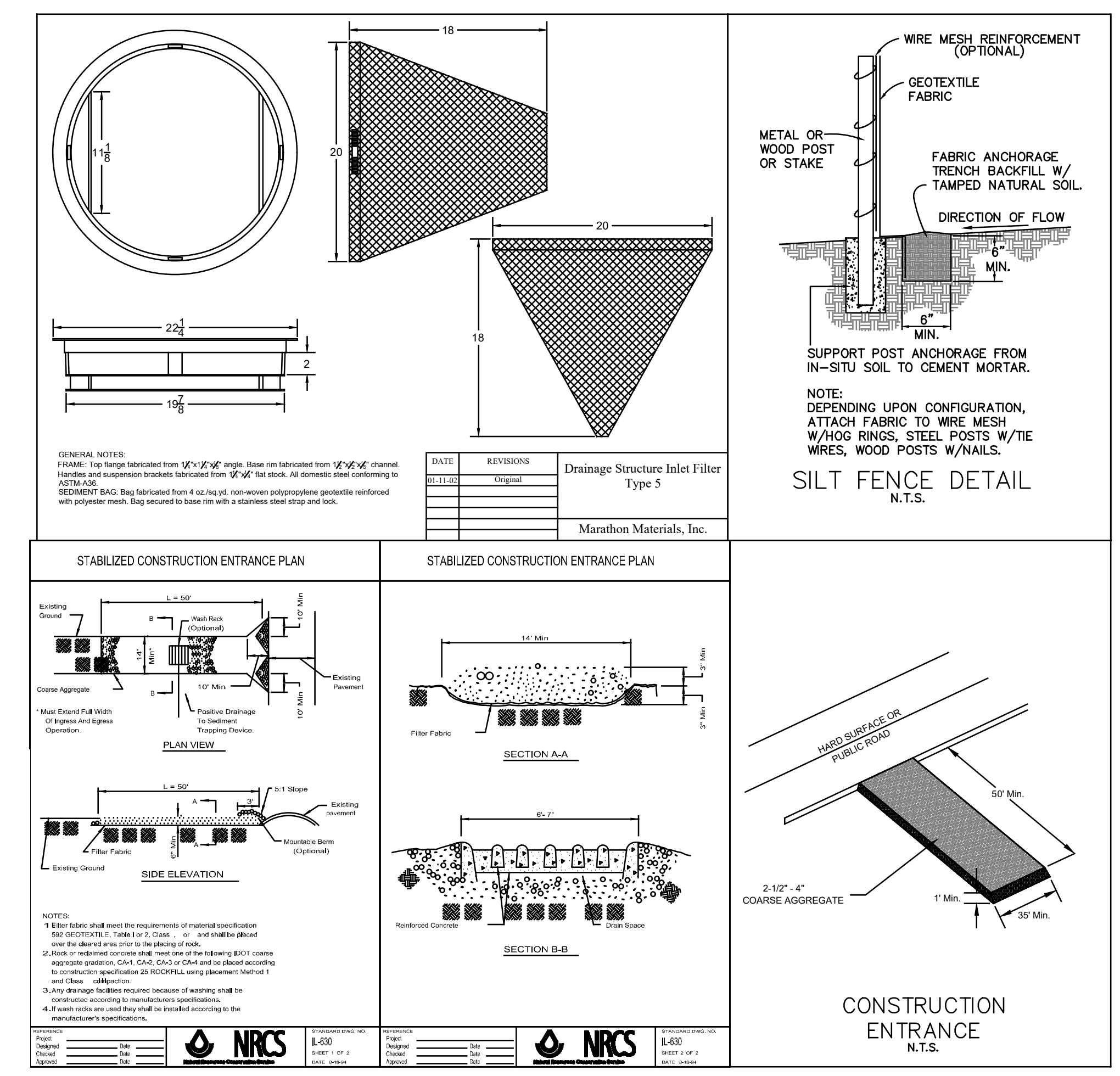
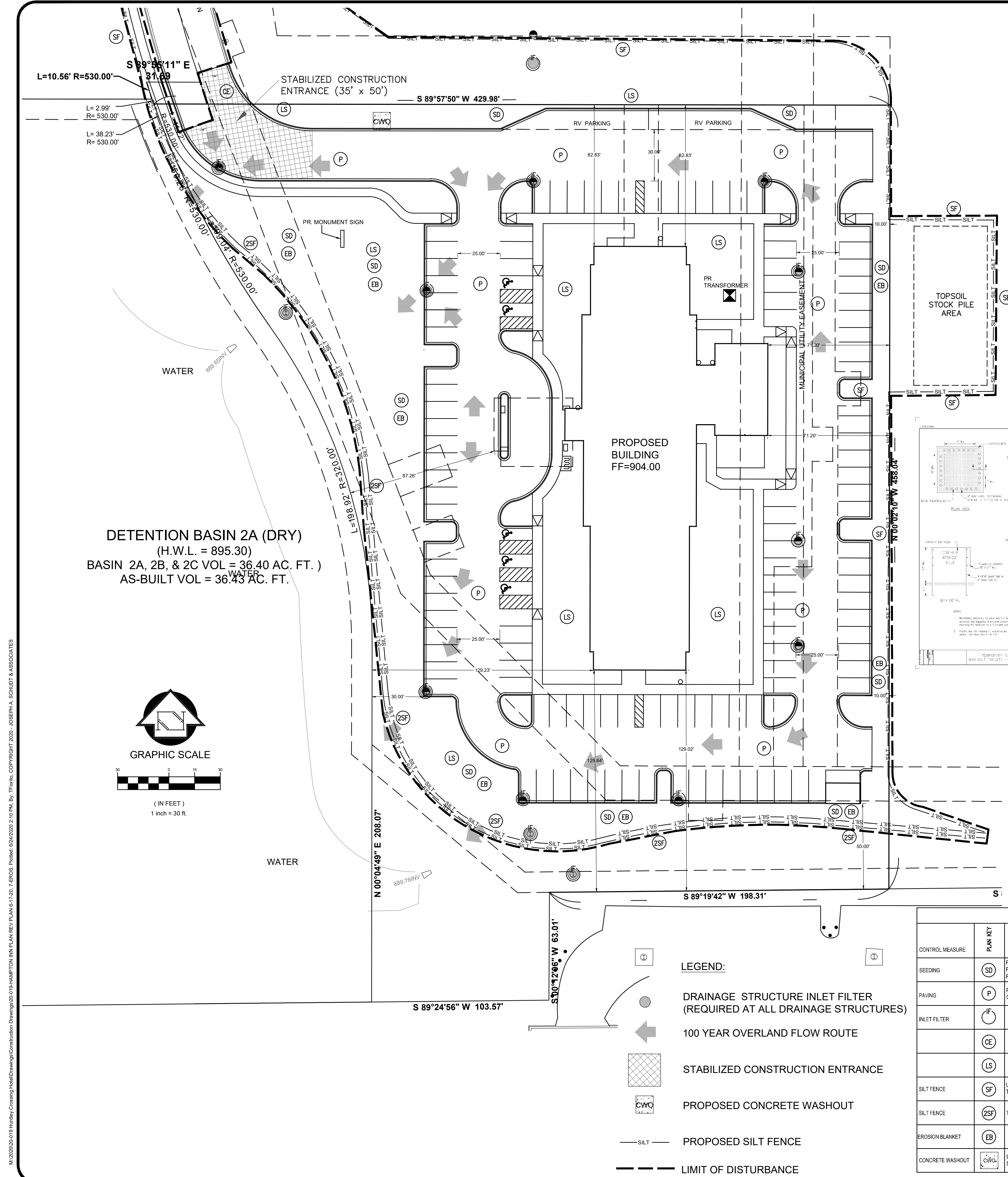
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**HAMPTON INN
 HUNTLEY, IL**

SITE GRADING PLAN

Date: 5-14-20
 Scale: 1" = 30'
 File Name: 20HAMPTONINN.PLAN.519
 Drawn: TMF
 Checked: DWO
 Sheet:
6 of 12
 Project No.:
20-019

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- EROSION CONTROL SEQUENCE OF OPERATIONS:**
- INSTALL CONSTRUCTION ENTRANCE INTO THE SITE.
 - INSTALL INLET FILTERS AND SILT FENCE.
 - AGGREGATE BASE COURSE WORK, CURBS, AND BASE COURSE PAVING SHALL BE PERFORMED AS SOON AS PRACTICAL.
 - GREEN SPACE AREAS WHICH ARE GRADED AND NO LONGER IN THE PATH OF CONSTRUCTION OPERATIONS SHALL BE TOPSOILED, SODDED, AND MULCHED AS SOON AS POSSIBLE IN ONE CONTINUOUS OPERATION.
 - PRIOR TO REMOVING INLET FILTERS FROM STORMWATER INTAKE STRUCTURES, REMOVE AND PROPERLY DISPOSE OF ALL ACCUMULATED SILT IN FILTERS.
- EROSION CONTROL NOTES:**
- INSTALL TEMPORARY EROSION CONTROL MEASURES (INLET PROTECTION, SILT FENCE, AND ROCK CONSTRUCTION ENTRANCES) PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION WORK AT THE SITE.
 - EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN ARE THE ABSOLUTE MINIMUM. THE CONTRACTOR SHALL INSTALL TEMPORARY EARTH DIKES, SEDIMENT TRAPS OR BASINS, ADDITIONAL SILTATION FENCING, AND/OR DISK THE SOIL PARALLEL TO THE CONTOURS AS DEEMED NECESSARY TO FURTHER CONTROL EROSION.
 - ALL CONSTRUCTION SITE ENTRANCES SHALL BE SURFACED WITH CRUSHED ROCK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE AND FROM THE ENTRANCE TO A POINT 50' INTO THE CONSTRUCTION ZONE.
 - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN A MINIMUM OF 6". THE TRENCH BACKFILL SHALL BE COMPACTED WITH A VIBRATORY PLATE COMPACTOR.
 - ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN.
 - ALL EXPOSED SOIL AREAS MUST HAVE TEMPORARY PROTECTION COVER ACCORDING TO THE FOLLOWING:

TYPE OF SLOPE	TIME (MAXIMUM TIME AN AREA CAN REMAIN OPEN WHEN THE AREA IS NOT ACTIVELY BEING WORKED)
SLOPES STEEPER THAN 3:1	WITHIN 7 DAYS
SLOPES BETWEEN 10:1 AND 3:1	WITHIN 14 DAYS
SLOPES FLATTER THAN 10:1	WITHIN 21 DAYS

THESE AREAS INCLUDE CONSTRUCTED STORM WATER MANAGEMENT POND SIDE SLOPES, AND ANY EXPOSED SOIL AREAS WITH A POSITIVE SLOPE TO A STORM WATER CONVEYANCE SYSTEM, SUCH AS A CURB AND GUTTER SYSTEM, STORM SEWER INLET, TEMPORARY OR PERMANENT DRAINAGE DITCH, OR OTHER NATURAL OR MAN MADE SYSTEMS THAT DISCHARGE TO A SURFACE WATER.

- IN AREAS WHERE CONCENTRATED FLOWS OCCUR (SUCH AS SWALES AND AREAS IN FRONT OF STORM CATCH BASINS AND INTAKES) THE EROSION CONTROL FACILITIES SHALL BE BACKED BY STABILIZATION STRUCTURE TO PROTECT THOSE FACILITIES FROM THE CONCENTRATED FLOWS.
- ALL STORM SEWER CATCH BASINS NOT NEEDED FOR SITE DRAINAGE DURING CONSTRUCTION SHALL BE COVERED TO PREVENT RUNOFF FROM ENTERING THE STORM SEWER SYSTEM. CATCH BASINS NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION SHALL HAVE INLET FILTER BASKETS INSTALLED. THE FILTER BASKETS SHALL BE MAINTAINED UNTIL THE TRIBUTARY AREAS ARE RESTORED.
- INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
- ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
- ALL SOILS TRACKED ONTO PAVEMENT SHALL BE REMOVED DAILY.
- UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL GRADED AREAS, ALL TEMPORARY EROSION CONTROL FACILITIES SHALL BE REMOVED FROM THE SITE.
- RESTORE ALL DISTURBED TURF AREAS WITH 6" MINIMUM TOPSOIL AND SOD.

SOIL EROSION CONTROL MEASURE			
CONTROL MEASURE	PLAN KEY	CONTROL MEASURE CHARACTERISTICS	
SEEDING	SD	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION. FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLANS.	TEMPORARY PERMANENT
PAVING	P	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.	TEMPORARY PERMANENT
INLET FILTER	IF	USED TO FILTER SEDIMENT FROM RUNOFF BEFORE IT ENTERS A DRAINAGE STRUCTURE.	TEMPORARY PERMANENT
	CE	CONSTRUCTION ENTRANCE	TEMPORARY PERMANENT
	LS	LANDSCAPE	TEMPORARY PERMANENT
SILT FENCE	SF	USED FOR SINGLE LOTS OR DRAINAGE AREAS LESS THAN 1/2 ACRE TO FILTER SEDIMENT FROM RUNOFF.	TEMPORARY PERMANENT
SILT FENCE	2SF	TWO SILT FENCES	TEMPORARY PERMANENT
EROSION BLANKET	EB	PROVIDE TEMPORARY EROSION PROTECTION FOR NEWLY SEEDDED AREA	TEMPORARY PERMANENT
CONCRETE WASHOUT	CWQ	USED FOR WASHOUT OF EXCESS CONCRETE FROM SITE POURS.	TEMPORARY PERMANENT

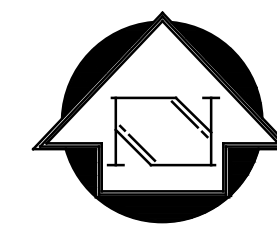
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HAMPTON INN
HUNTLEY, IL
SOIL EROSION & SEDIMENT CONTROL PLAN

Date: 5-14-20
Scale: 1" = 30'
File Name: 20-019-Hampton Inn\Plan Rev\PLAN REV PLAN 6-17-20_7-EROSION.Plotfiled: 6/24/2020 2:10 PM
Drawn: TMF
Checked: DWO
Sheet:
7 of 12
Project No.:
20-019



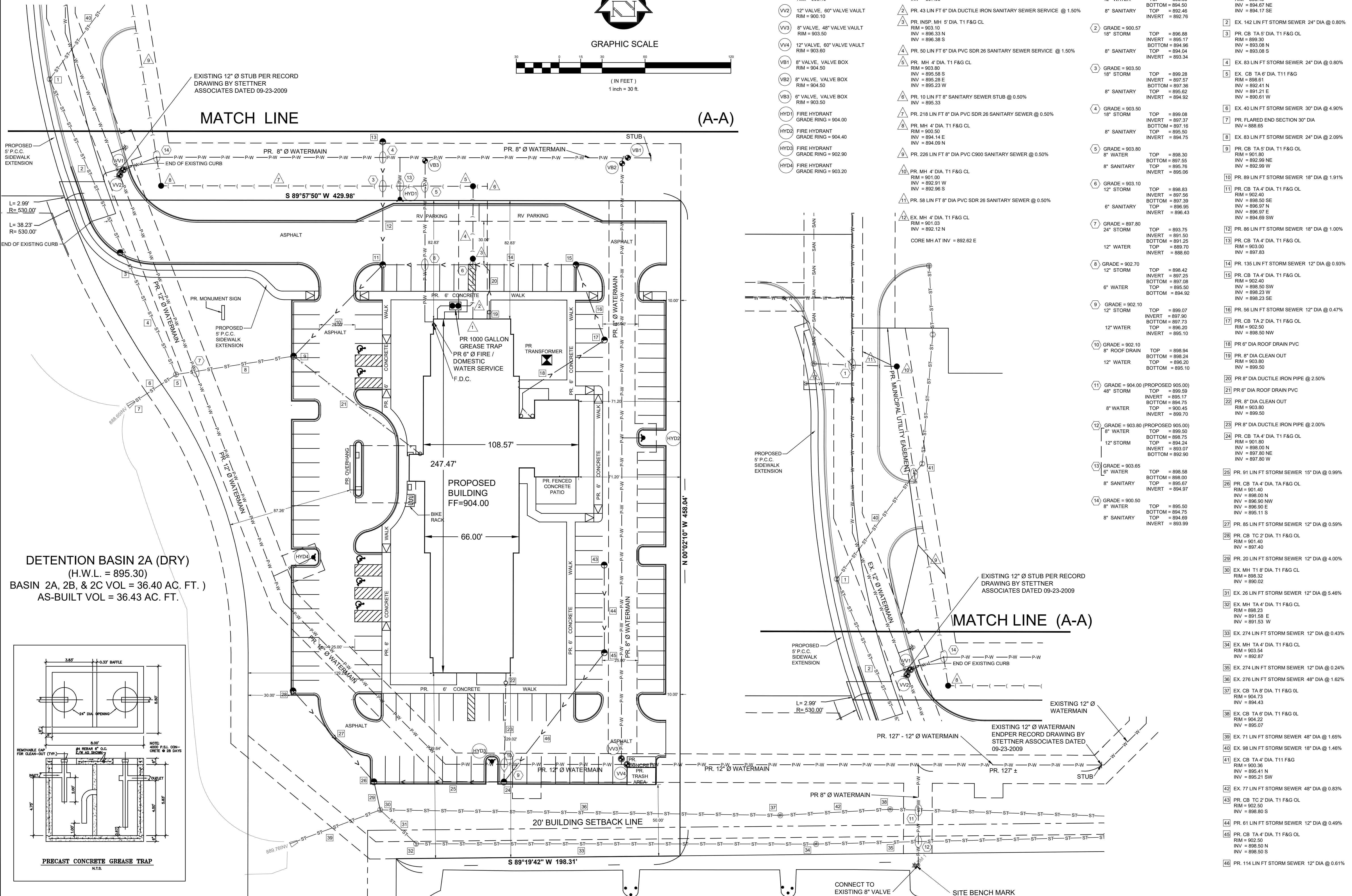
GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

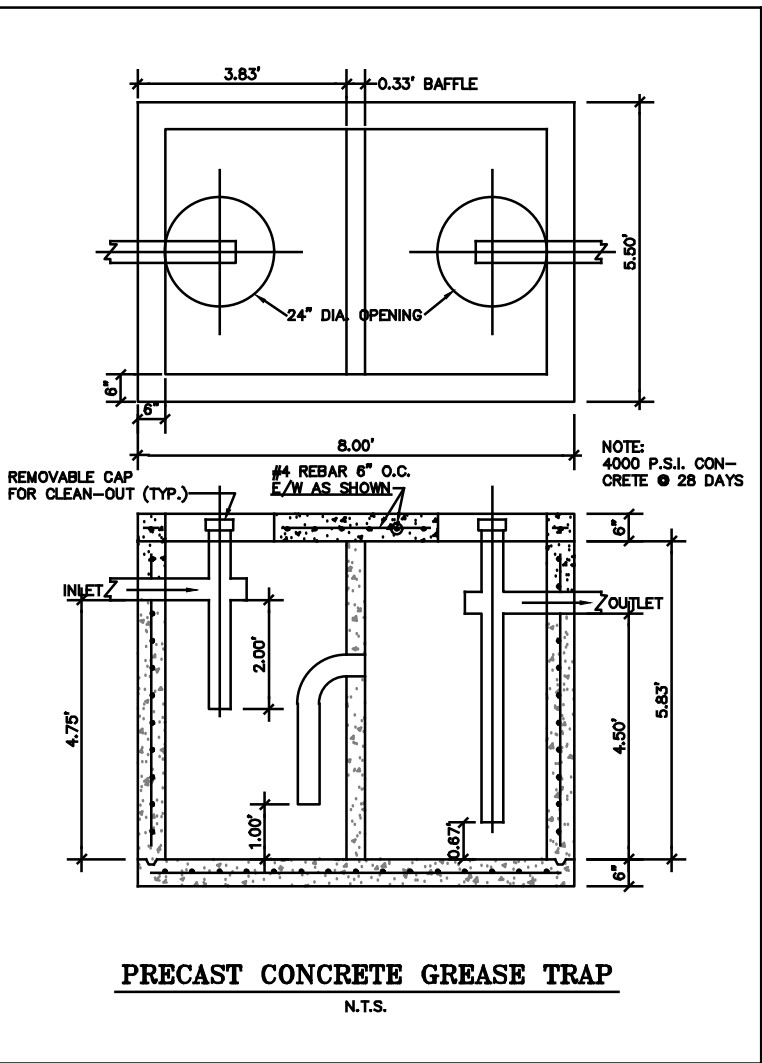
(A-A)

MATCH LINE

EXISTING 12" Ø STUB PER RECORD
DRAWING BY STETTNER
ASSOCIATES DATED 09-23-2009



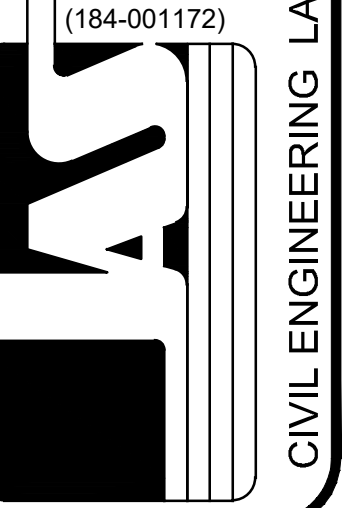
DETENTION BASIN 2A (DRY)
(H.W.L. = 895.30)
BASIN 2A, 2B, & 2C VOL = 36.40 AC. FT.)
AS-BUILT VOL = 36.43 AC. FT.



20' BUILDING SETBACK LINE

WATERMAIN TAGS		SANITARY SEWER TAGS		UTILITY CROSSING DATA		STORM SEWER TAGS	
1	8" VALVE, 48" VALVE VAULT RIM = 900.10	1	PR. 6" DIA PVC SDR 26 SANITARY SEWER SERVICE AT BUILDING INV = 897.03	1	GRADE = 900.83 12" WATER	1	EX. CB TA 5' DIA. T11 F&G RIM = 898.48 INV = 894.67 NE INV = 894.17 SE
2	12" VALVE, 60" VALVE VAULT RIM = 900.10	2	PR. 43 LIN FT 6" DIA DUCTILE IRON SANITARY SEWER SERVICE @ 1.50%	2	GRADE = 900.57 18" STORM	2	PR. CB TA 5' DIA. T1 F&G OL RIM = 898.51 INV = 893.08 N INV = 893.08 S
3	8" VALVE, 48" VALVE VAULT RIM = 903.50	3	PR. INSP. MH 5' DIA. T1 F&G CL RIM = 903.10 INV = 896.33 N INV = 896.38 S	3	GRADE = 903.50 18" STORM	3	EX. 83 LIN FT STORM SEWER 24" DIA @ 0.80%
4	12" VALVE, 60" VALVE VAULT RIM = 903.60	4	PR. 50 LIN FT 6" DIA PVC SDR 26 SANITARY SEWER SERVICE @ 1.50%	4	GRADE = 903.50 18" STORM	4	EX. 40 LIN FT STORM SEWER 30" DIA @ 4.90%
5	8" VALVE, VALVE BOX RIM = 904.50	5	PR. MH 4' DIA. T1 F&G CL RIM = 903.80 INV = 895.58 S INV = 895.23 W	5	GRADE = 903.80 8" WATER	5	PR. CB TA 6' DIA. T11 F&G RIM = 898.61 INV = 892.41 N INV = 891.21 E INV = 890.61 S
6	8" VALVE, VALVE BOX RIM = 904.50	6	PR. 10 LIN FT 8" SANITARY SEWER STUB @ 0.50% INV = 895.33	6	GRADE = 903.10 12" STORM	6	EX. 83 LIN FT STORM SEWER 24" DIA @ 2.09%
7	6" VALVE, VALVE BOX RIM = 903.50	7	PR. 218 LIN FT 8" DIA PVC SDR 26 SANITARY SEWER @ 0.50%	7	GRADE = 903.10 12" STORM	7	EX. 40 LIN FT STORM SEWER 30" DIA @ 4.90%
8	FIRE HYDRANT GRADE RING = 904.00	8	PR. MH 4' DIA. T1 F&G CL RIM = 900.50 INV = 894.14 E INV = 894.09 N	8	GRADE = 903.80 8" WATER	8	PR. FLARED END SECTION 30" DIA RIM = 888.65
9	FIRE HYDRANT GRADE RING = 904.40	9	PR. 226 LIN FT 8" DIA PVC C900 SANITARY SEWER @ 0.50%	9	GRADE = 902.70 12" STORM	9	EX. 83 LIN FT STORM SEWER 24" DIA @ 2.09%
10	FIRE HYDRANT GRADE RING = 902.90	10	PR. MH 4' DIA. T1 F&G CL RIM = 901.00 INV = 892.91 W INV = 892.96 S	10	GRADE = 902.10 12" STORM	10	PR. CB TA 5' DIA. T1 F&G OL RIM = 901.80 INV = 892.99 NE INV = 892.99 W
11	FIRE HYDRANT GRADE RING = 903.20	11	PR. 58 LIN FT 8" DIA PVC SDR 26 SANITARY SEWER @ 0.50%	11	GRADE = 902.10 12" STORM	11	PR. 89 LIN FT STORM SEWER 18" DIA @ 1.91%
				12	GRADE = 902.10 12" STORM	12	PR. CB TA 4' DIA. T1 F&G OL RIM = 902.40 BOTTOM = 897.30 TOP = 896.97 N INV = 896.97 E INV = 894.69 SW
				13	GRADE = 897.80 24" STORM	13	PR. CB TA 4' DIA. T1 F&G OL RIM = 903.00 INV = 897.83
				14	GRADE = 902.70 12" STORM	14	PR. 135 LIN FT STORM SEWER 12" DIA @ 0.93%
				15	GRADE = 902.10 12" STORM	15	PR. CB TA 4' DIA. T1 F&G OL RIM = 902.40 BOTTOM = 897.30 TOP = 896.97 N INV = 896.97 E INV = 894.69 SW
				16	GRADE = 902.10 12" STORM	16	PR. CB TA 2' DIA. T1 F&G OL RIM = 903.00 INV = 897.83
				17	GRADE = 902.10 12" STORM	17	PR. 6' DIA ROOF DRAIN PVC
				18	GRADE = 904.00 (PROPOSED 905.00) 48" STORM	18	PR. 8" DIA DUCTILE IRON PIPE @ 2.50%
				19	GRADE = 903.80 (PROPOSED 905.00) 8" WATER	19	PR. 8" DIA CLEAN OUT RIM = 903.80 INV = 899.50
				20	GRADE = 903.80 (PROPOSED 905.00) 8" WATER	20	PR. 8" DIA DUCTILE IRON PIPE @ 2.00%
				21	GRADE = 903.80 (PROPOSED 905.00) 12" STORM	21	PR. CB TA 4' DIA. T1 F&G OL RIM = 901.80 INV = 898.00 N INV = 897.80 NE INV = 897.80 W
				22	GRADE = 903.80 (PROPOSED 905.00) 6" WATER	22	PR. 91 LIN FT STORM SEWER 15" DIA @ 0.99%
				23	GRADE = 900.50 8" WATER	23	PR. CB TA 4' DIA. TA F&G OL RIM = 901.40 INV = 898.00 N INV = 896.90 NW INV = 896.90 E INV = 895.11 S
				24	GRADE = 900.50 8" WATER	24	PR. 85 LIN FT STORM SEWER 12" DIA @ 0.59%
				25	GRADE = 900.50 8" WATER	25	PR. CB TC 2' DIA. T1 F&G OL RIM = 901.40 INV = 897.40
				26	GRADE = 900.50 8" WATER	26	PR. 20 LIN FT STORM SEWER 12" DIA @ 4.00%
				27	GRADE = 900.50 8" WATER	27	EX. MH T1 8' DIA. T1 F&G CL RIM = 898.32 INV = 890.02
				28	GRADE = 900.50 8" WATER	28	EX. 26 LIN FT STORM SEWER 12" DIA @ 5.46%
				29	GRADE = 900.50 8" WATER	29	EX. MH TA 4' DIA. T1 F&G CL RIM = 898.23 INV = 891.58 E INV = 891.53 W
				30	GRADE = 900.50 8" WATER	30	EX. 274 LIN FT STORM SEWER 12" DIA @ 0.43%
				31	GRADE = 900.50 8" WATER	31	EX. MH TA 4' DIA. T1 F&G CL RIM = 903.54 INV = 892.87
				32	GRADE = 900.50 8" WATER	32	EX. 274 LIN FT STORM SEWER 12" DIA @ 0.24%
				33	GRADE = 900.50 8" WATER	33	EX. 276 LIN FT STORM SEWER 48" DIA @ 1.62%
				34	GRADE = 900.50 8" WATER	34	EX. CB TA 8' DIA. T1 F&G OL RIM = 904.73 INV = 894.43
				35	GRADE = 900.50 8" WATER	35	EX. CB TA 6' DIA. T1 F&G OL RIM = 904.22 INV = 895.07
				36	GRADE = 900.50 8" WATER	36	EX. 71 LIN FT STORM SEWER 48" DIA @ 1.65%
				37	GRADE = 900.50 8" WATER	37	EX. 98 LIN FT STORM SEWER 18" DIA @ 1.46%
				38	GRADE = 900.50 8" WATER	38	EX. CB TA 4' DIA. T11 F&G RIM = 900.36 INV = 895.41 N INV = 895.21 SW
				39	GRADE = 900.50 8" WATER	39	EX. 77 LIN FT STORM SEWER 48" DIA @ 0.83%
				40	GRADE = 900.50 8" WATER	40	PR. CB TC 2' DIA. T1 F&G OL RIM = 902.50 INV = 898.00 S
				41	GRADE = 900.50 8" WATER	41	PR. 61 LIN FT STORM SEWER 12" DIA @ 0.49%
				42	GRADE = 900.50 8" WATER	42	PR. CB TA 4' DIA. T1 F&G OL RIM = 902.50 INV = 898.50 N INV = 898.50 S
				43	GRADE = 900.50 8" WATER	43	PR. 114 LIN FT STORM SEWER 12" DIA @ 0.61%
				44	GRADE = 900.50 8" WATER		
				45	GRADE = 900.50 8" WATER		
				46	GRADE = 900.50 8" WATER		

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HAMPTON INN
HUNTLEY, IL
SITE UTILITY PLAN

Date: 5-14-20
Scale: 1" = 30'
File Name: 20-019-HAMPTON INN PLAN REV 5/20
Drawn: TMF
Checked: DWO
Sheet:
8 OF 12
Project No.:
20-019

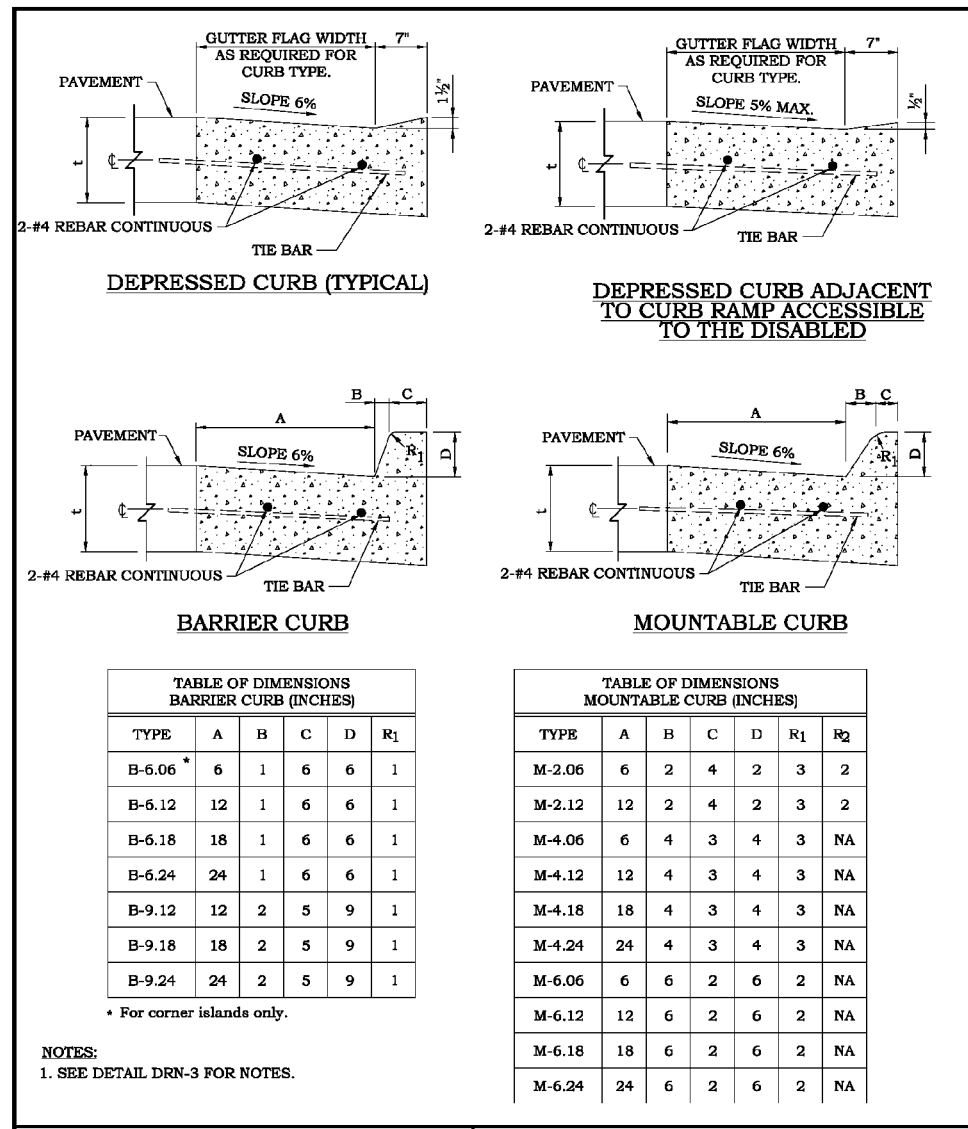


TABLE OF DIMENSIONS
BARRIER CURB (INCHES)

TYPE	A	B	C	D	H1	H2
B-6.06	6	1	6	6	1	1
B-6.12	12	1	6	6	1	1
B-6.18	18	1	6	6	1	1
B-6.24	24	1	6	6	1	1
B-9.12	12	2	5	9	1	1
B-9.18	18	2	5	9	1	1
B-9.24	24	2	5	9	1	1

** For corner islands only.*

NOTES:
1. SEE DETAIL DRN-3 FOR NOTES.

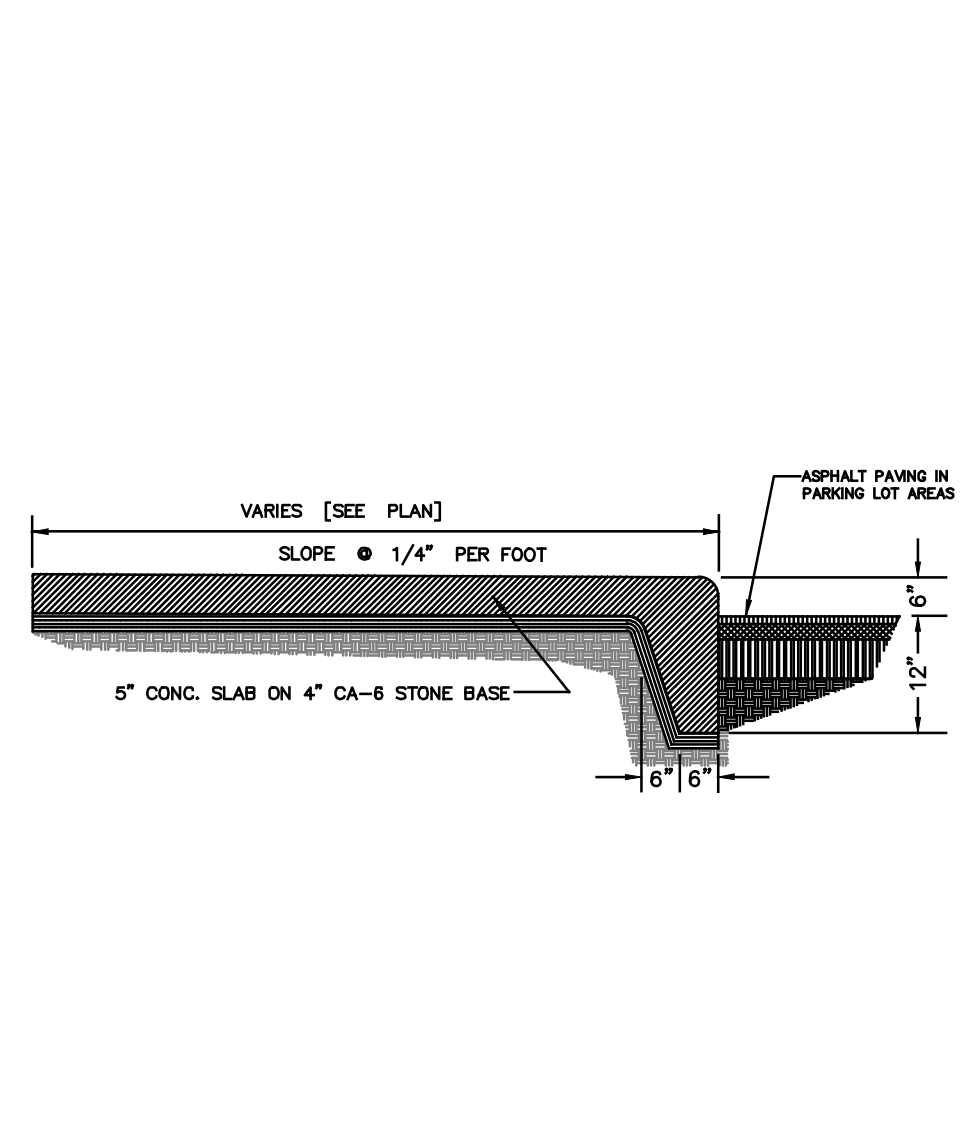
NOTES:
1. THICKNESS - T - THICKNESS OF PAVEMENT. WHEN CURB AND GUTTER IS CONSTRUCTED ADJACENT TO FLEXIBLE PAVEMENT, THE VERTICAL THICKNESS OF THE GUTTER FLAG SHALL MATCH THE EXISTING PAVEMENT THICKNESS, OR BE MINIMUM 1".
2. DRAINAGE OPENINGS - AT ALL LOCATIONS WHERE METAL CASTINGS ARE INCORPORATED IN THE CURB AND GUTTER, A 1" THICK PREFORMED JOINT FILLER, CONFORMING TO THE CROSS SECTIONS OF THE CURB AND GUTTER SHALL BE INSTALLED A DISTANCE OF 3 FT. FROM EACH END OF THE METAL CASTING. WHEN THE WIDTH OF THE METAL CASTING IS LESS THAN THE WIDTH OF THE CURB AND GUTTER, 2 - NO. 4 REBAR COATED REBARS (1" x 12" CASTING LENGTH + 12") SHALL BE INCORPORATED IN THE CONTINUOUS PORTION OF THE CONCRETE CURB AND GUTTER.
3. JOINTS - IN ADDITION TO THE REQUIREMENTS OF ARTICLE 606 OF THE STANDARD SPECIFICATIONS, JOINTS SHALL BE CONSTRUCTED AS FOLLOWS:
A. CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE INSTALLED IN THE CURB AND GUTTER IN PROLONGATION WITH JOINTS OF ADJACENT P.C.C. PAVEMENT OR BASE COURSE.
B. WHEN CURB AND GUTTER IS CONSTRUCTED ADJACENT TO FLEXIBLE PAVEMENT, A 1" THICK PREFORMED JOINT FILLER, CONFORMING TO THE CROSS SECTIONS OF THE CURB AND GUTTER SHALL BE INSTALLED AT POINTS OF CURVATURE FOR SHORT RADIUS CURVES.
C. ALL EXPANSION JOINTS SHALL BE PROVIDED WITH TWO 1 1/4" DIA. X 18" COATED SMOOTH DOWEL BARS CONFORMING TO ARTICLE 1006.118 OF THE STANDARD SPECIFICATIONS. THIS DOWEL BAR SHALL BE FITTED WITH A CAP HAVING A FINISHED STOP THAT WILL PROVIDE 1" OF EXPANSION.
D. CONSTRUCTION JOINT SPACING 12 MAX.
E. EXPANSION JOINT SPACING 84 MAX.
4. REINFORCEMENT - ALL CURB AND GUTTER SHALL CONTAIN 2-#4 REBAR CONTINUOUS THROUGHOUT. REINFORCEMENT SHALL BE PLACED 2" FROM EACH FACE OF CURB. THE BAR MINIMUM CLEARANCE FROM FACE OF CURB SHALL BE 2".
5. AN IDOT APPROVED CURING COMPOUND MUST BE PLACED ON THE FINISHED CONCRETE PER IDOT STANDARD SPECIFICATIONS 1020.13 AND 1022.01 (DOT APPROVED PAILS OR DRUMS SHALL BE INSPECTED/WITNESSED BY THE VILLAGE OF HUNTLEY OR VILLAGE REPRESENTATIVE). NON IDOT APPROVED CURING/SEALING PRODUCTS WILL BE PROHIBITED.
6. ALL CURB/GUTTER SHALL BE INSTALLED ON A MINIMUM 4" COMPACTED CA-6 SUBGRADE THAT SHALL EXTEND A MINIMUM OF 6" FROM THE BACK OF CURB UNLESS OTHERWISE INDICATED.
7. CURB SHALL BE STAMPED WITH A "W" INDICATING THE LOCATION OF WATER SERVICES AND STAMPED WITH A "S" INDICATING THE LOCATION OF SANITARY SEWER SERVICES.
8. ALL WORK AND MATERIAL SHALL CONFORM TO IDOT STANDARD SPECIFICATION ART 606 UNLESS OTHERWISE SPECIFIED.

VILLAGE OF HUNTLEY
10871 MAIN STREET
HUNTLEY, IL 61422
(815) 515-5200

COMBINATION CONCRETE CURB AND GUTTER
DATE: 11/20/16
DESIGNER: CM86L/TFY
CHECKER: 11/22/16

CONCRETE CURB AND GUTTER NOTES
DATE: 11/20/16
DESIGNER: CM86L/TFY
CHECKER: 11/22/16

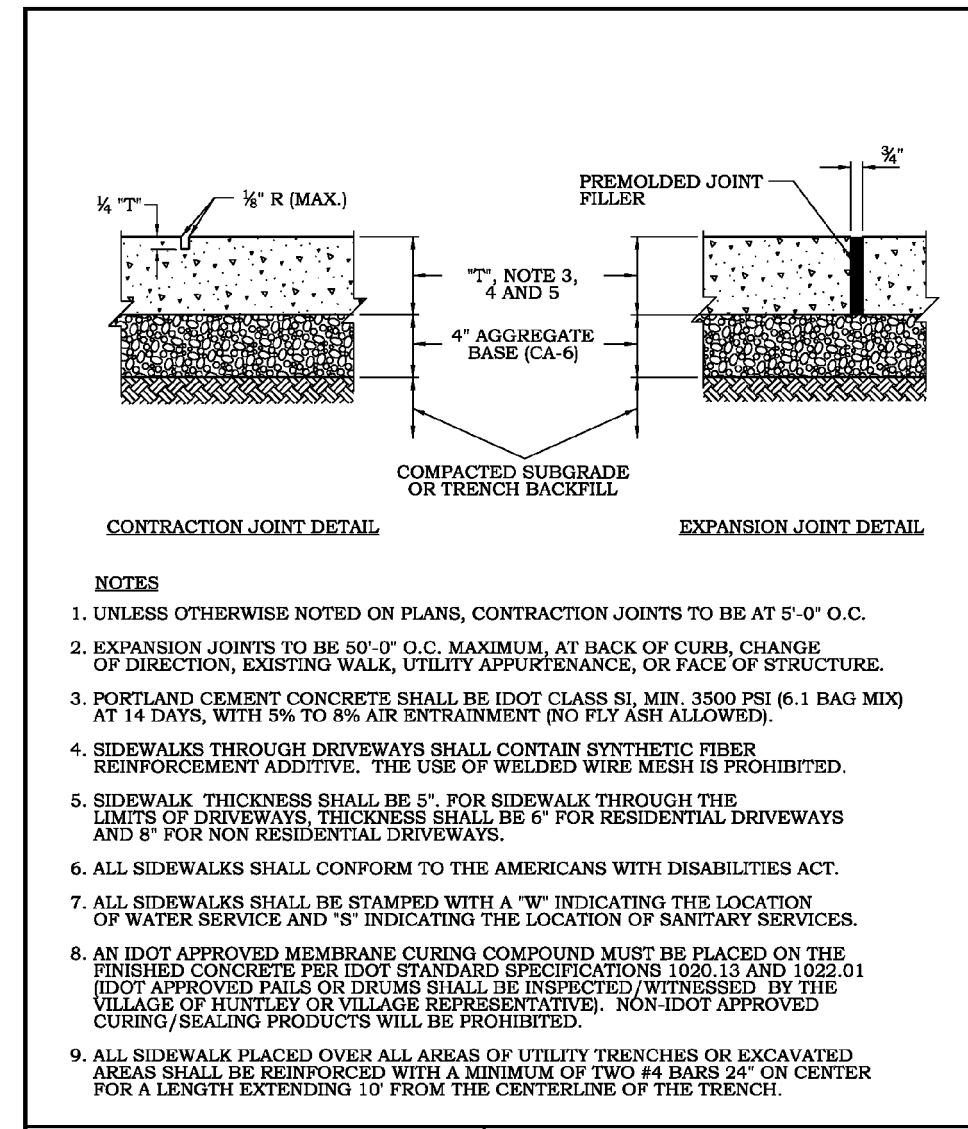
DRN-1



VILLAGE OF HUNTLEY
10871 MAIN STREET
HUNTLEY, IL 61422
(815) 515-5200

CONCRETE SIDEWALK
DATE: 11/20/16
DESIGNER: CM86L/TFY
CHECKER: 11/22/16

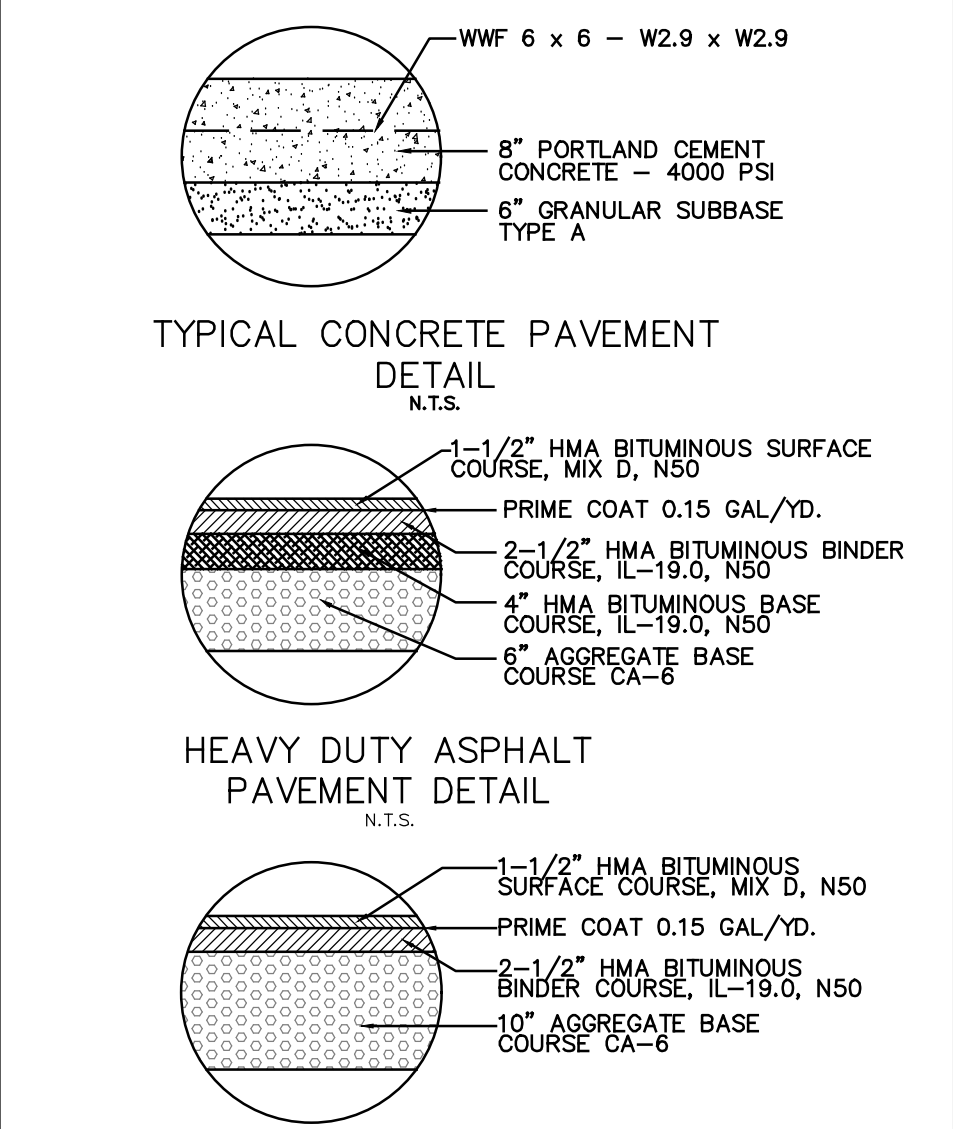
PVT-4



VILLAGE OF HUNTLEY
10871 MAIN STREET
HUNTLEY, IL 61422
(815) 515-5200

MINIMUM PAVEMENT REQUIREMENTS PARKING LOTS
DATE: 11/20/16
DESIGNER: CM86L/TFY
CHECKER: 11/22/16

PVT-6



VILLAGE OF HUNTLEY
10871 MAIN STREET
HUNTLEY, IL 61422
(815) 515-5200

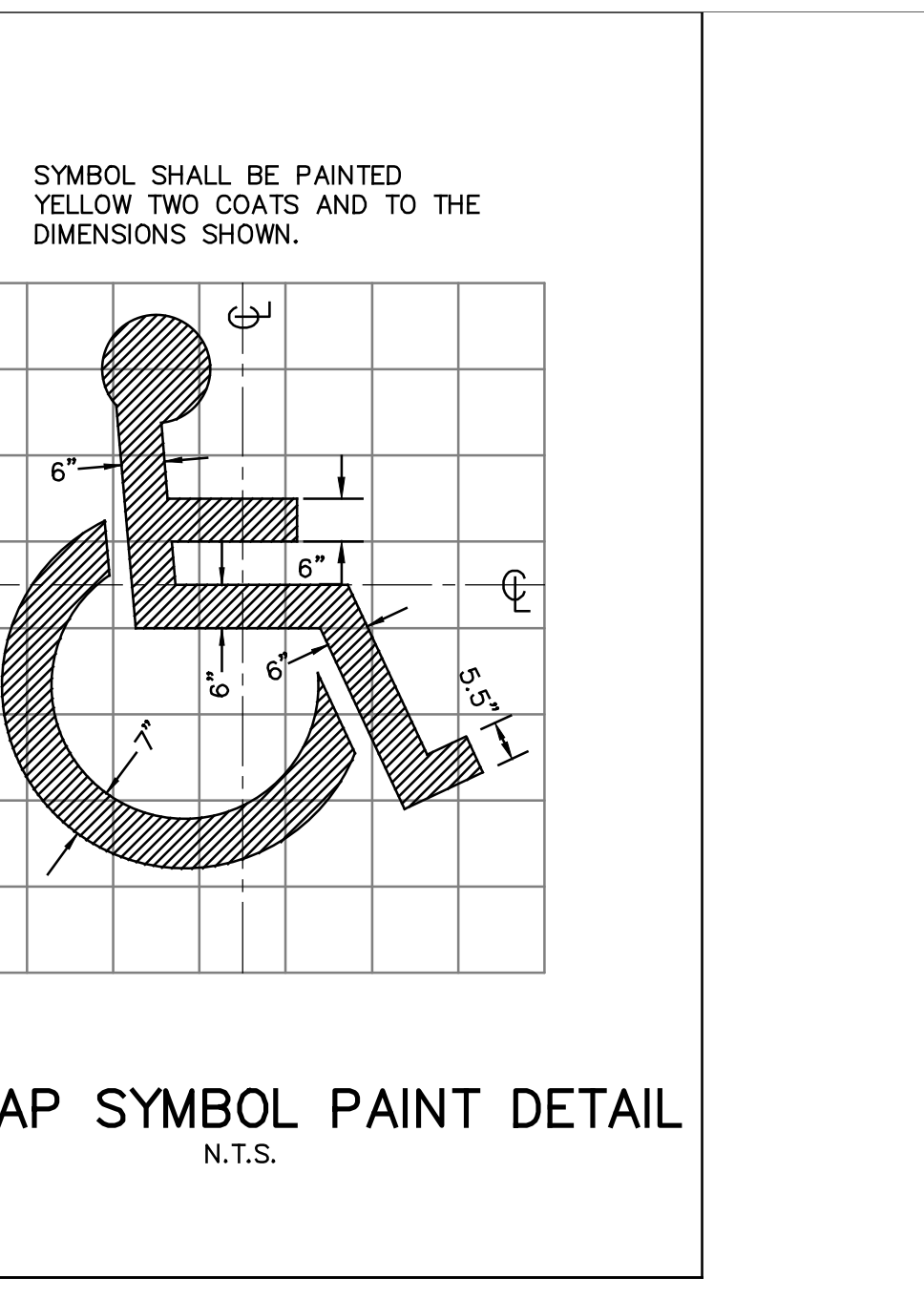
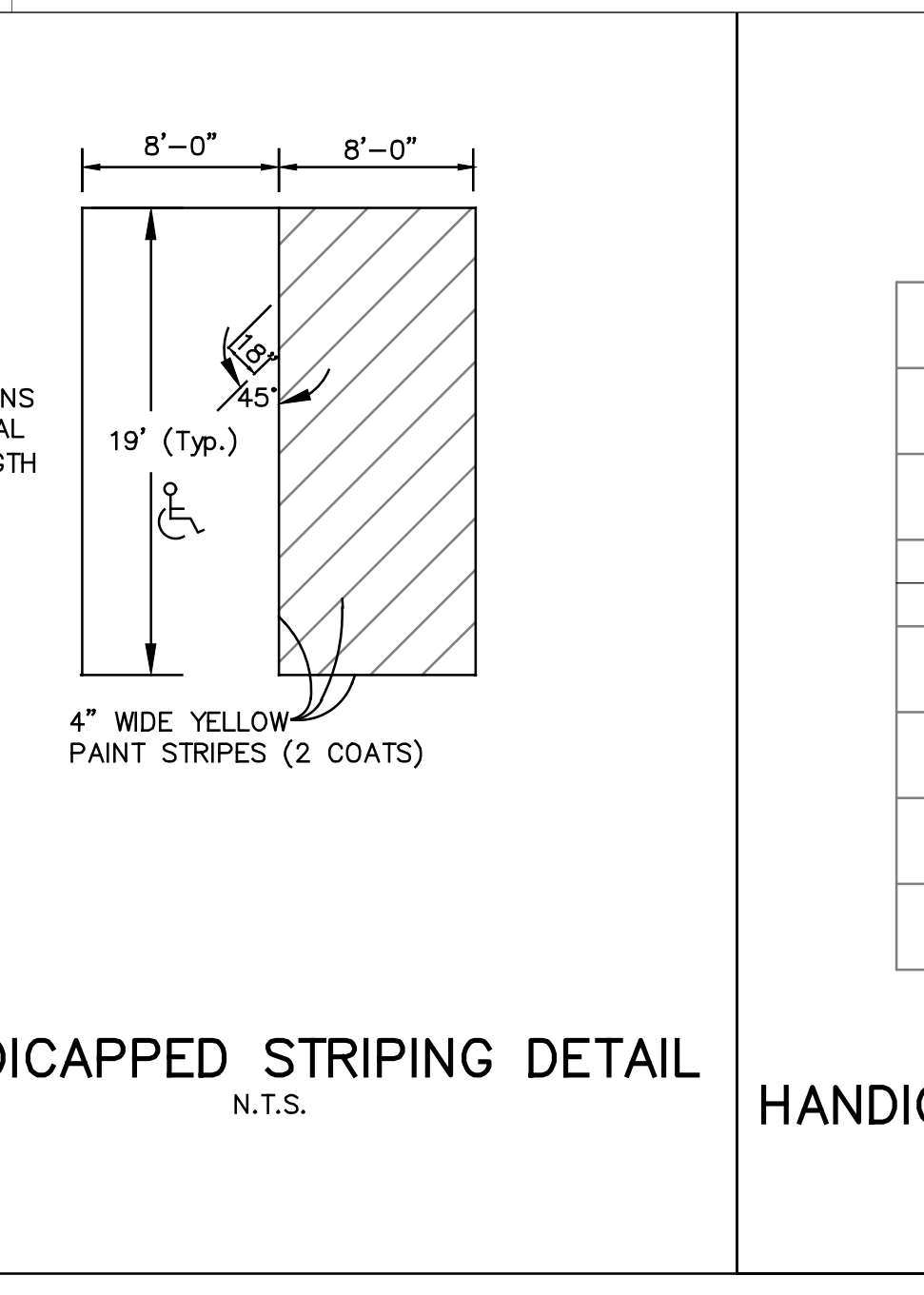
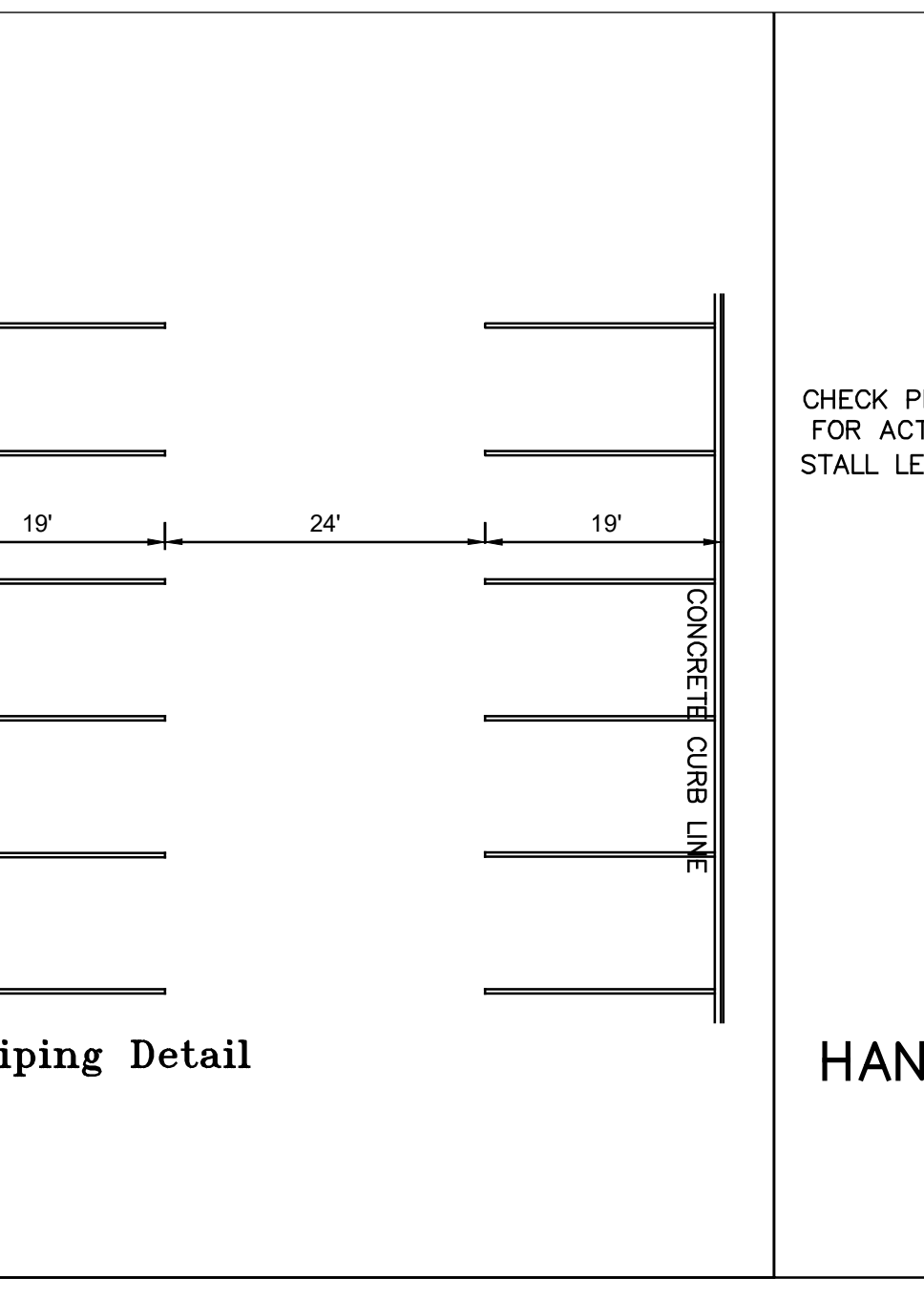
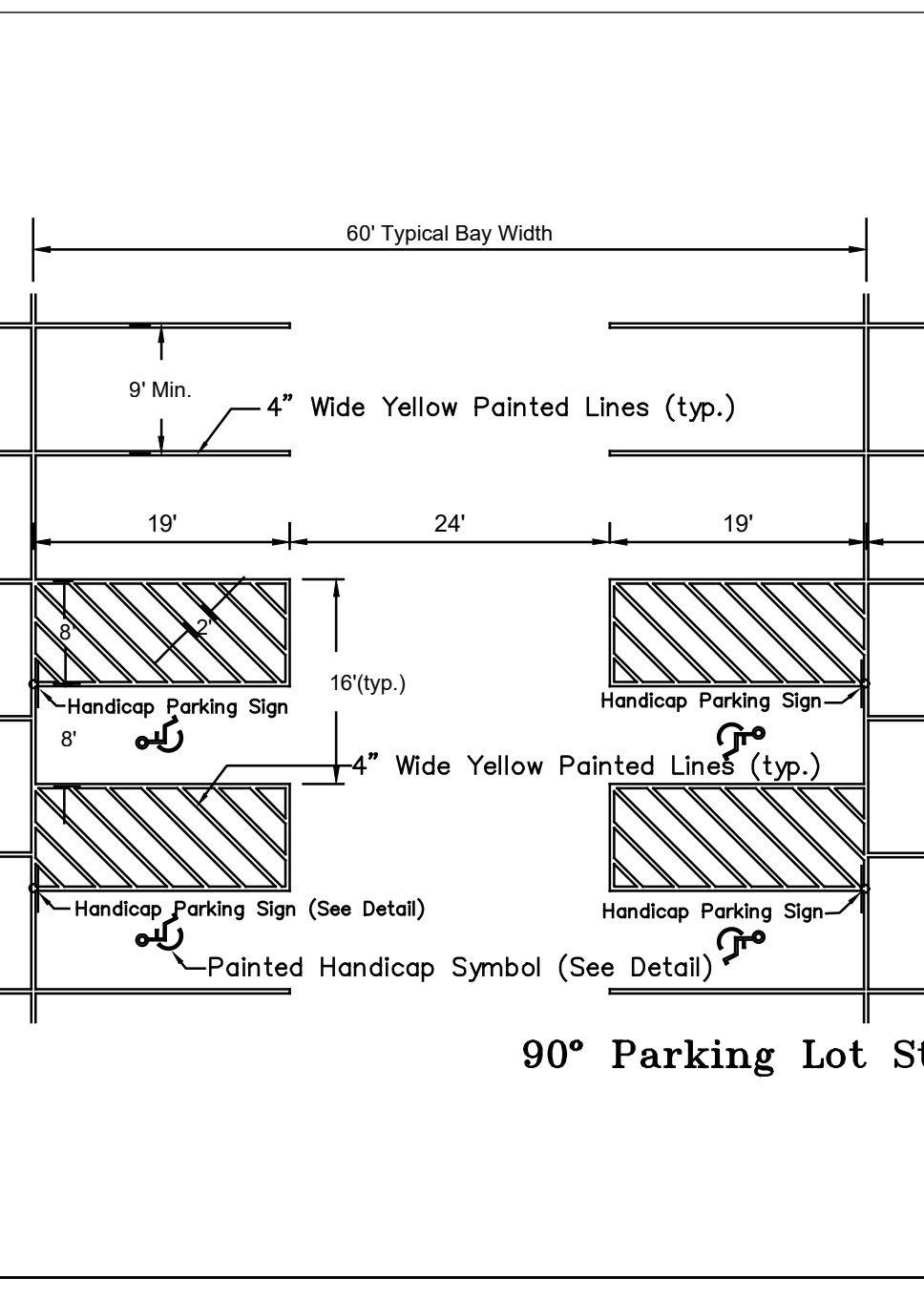
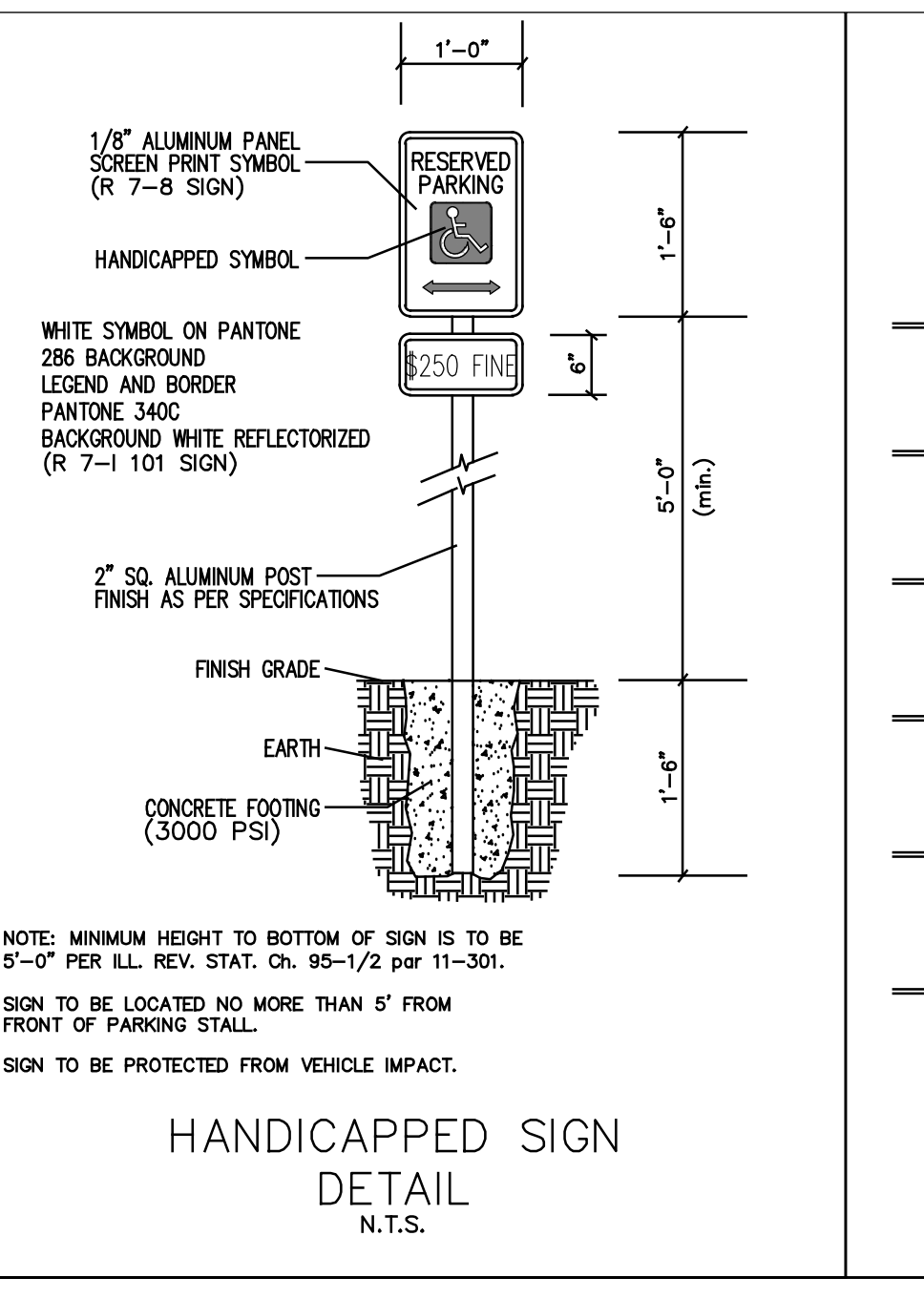
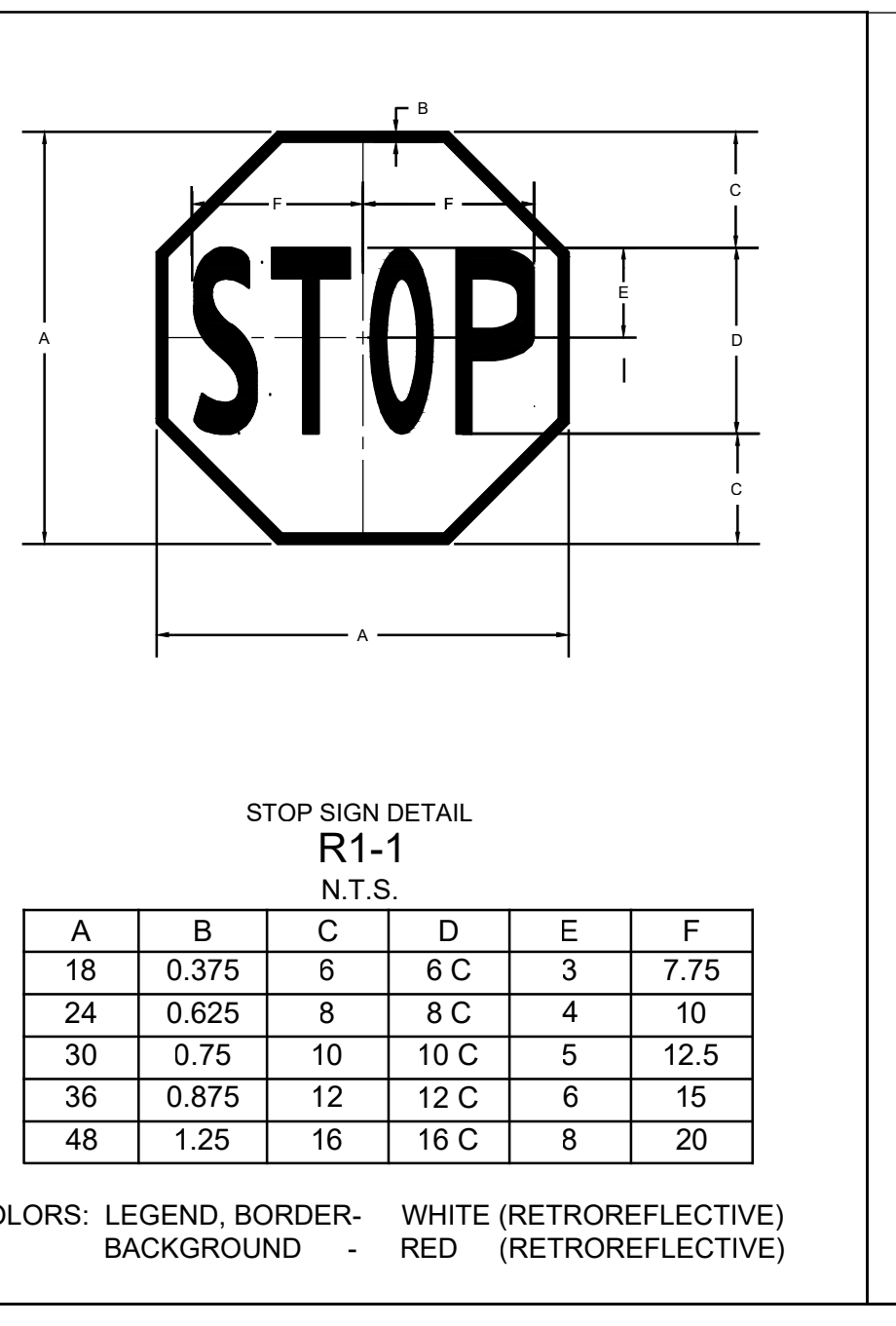
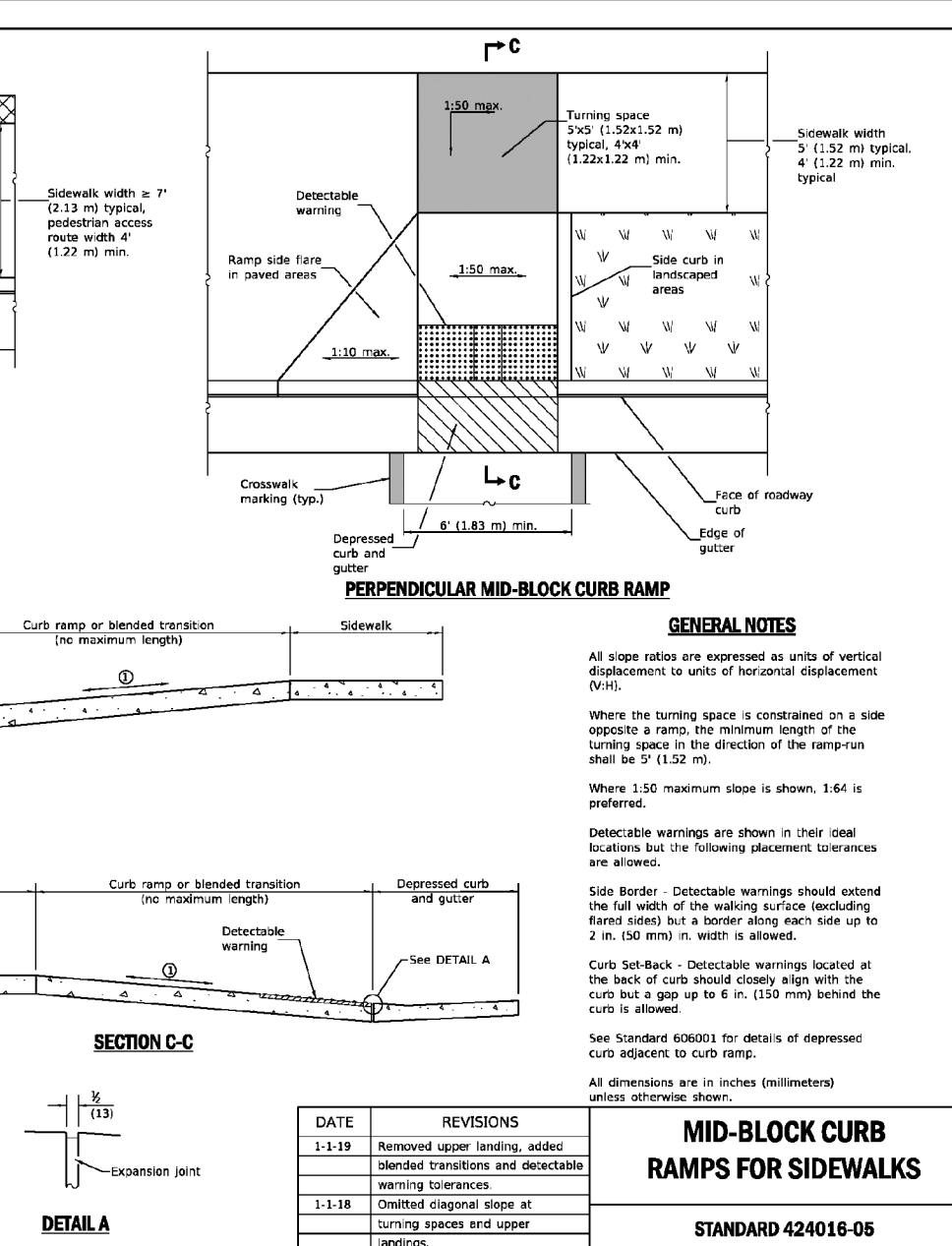
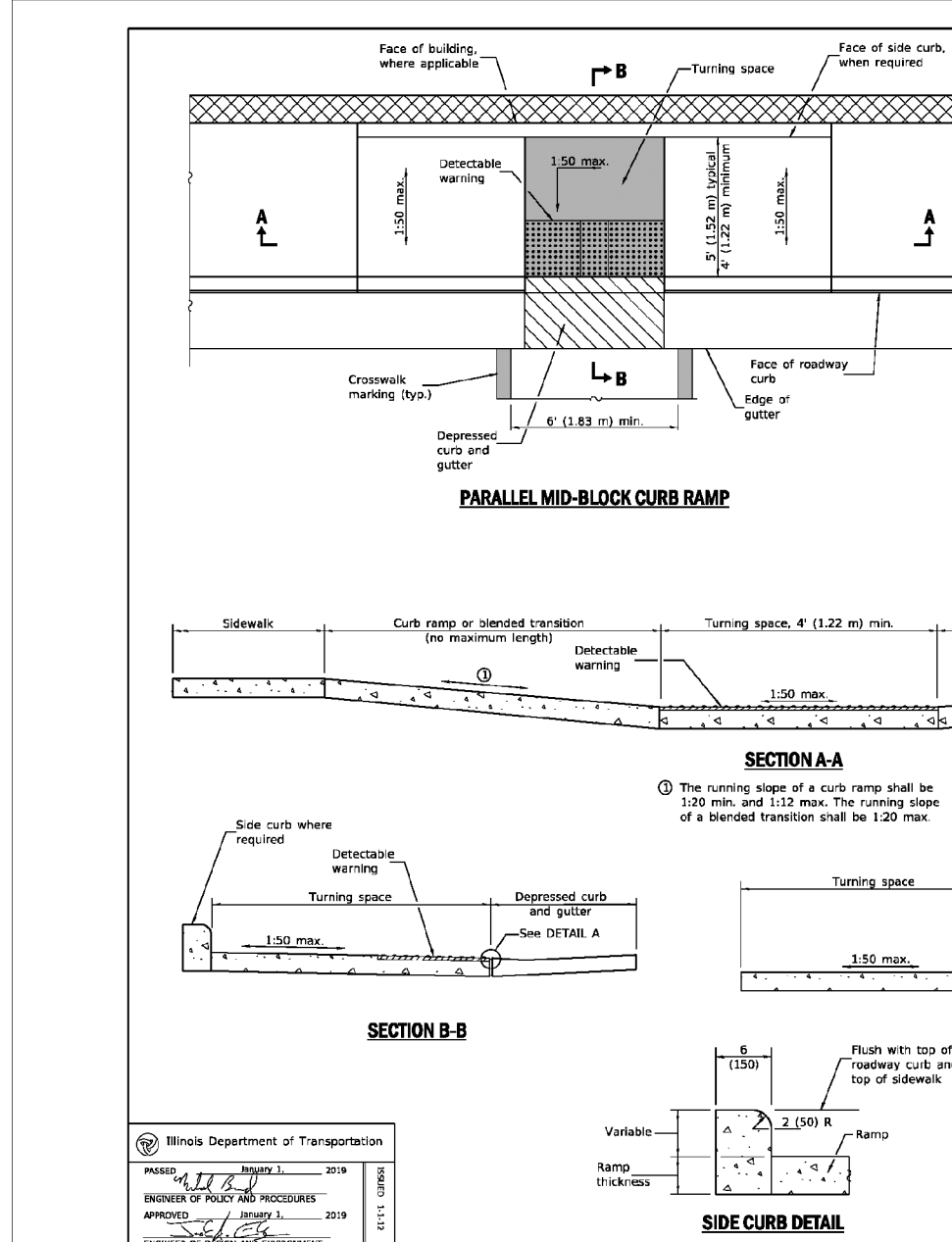
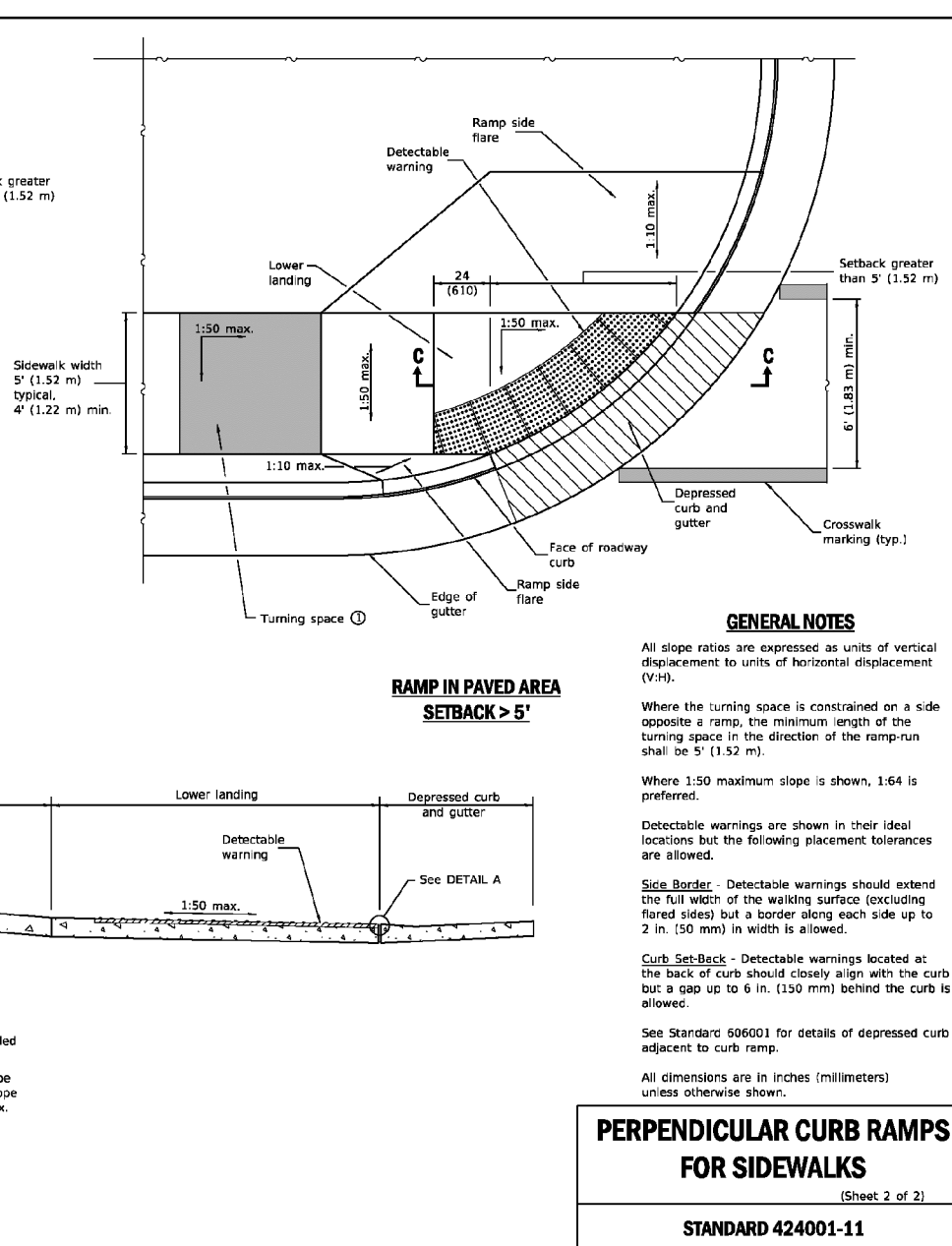
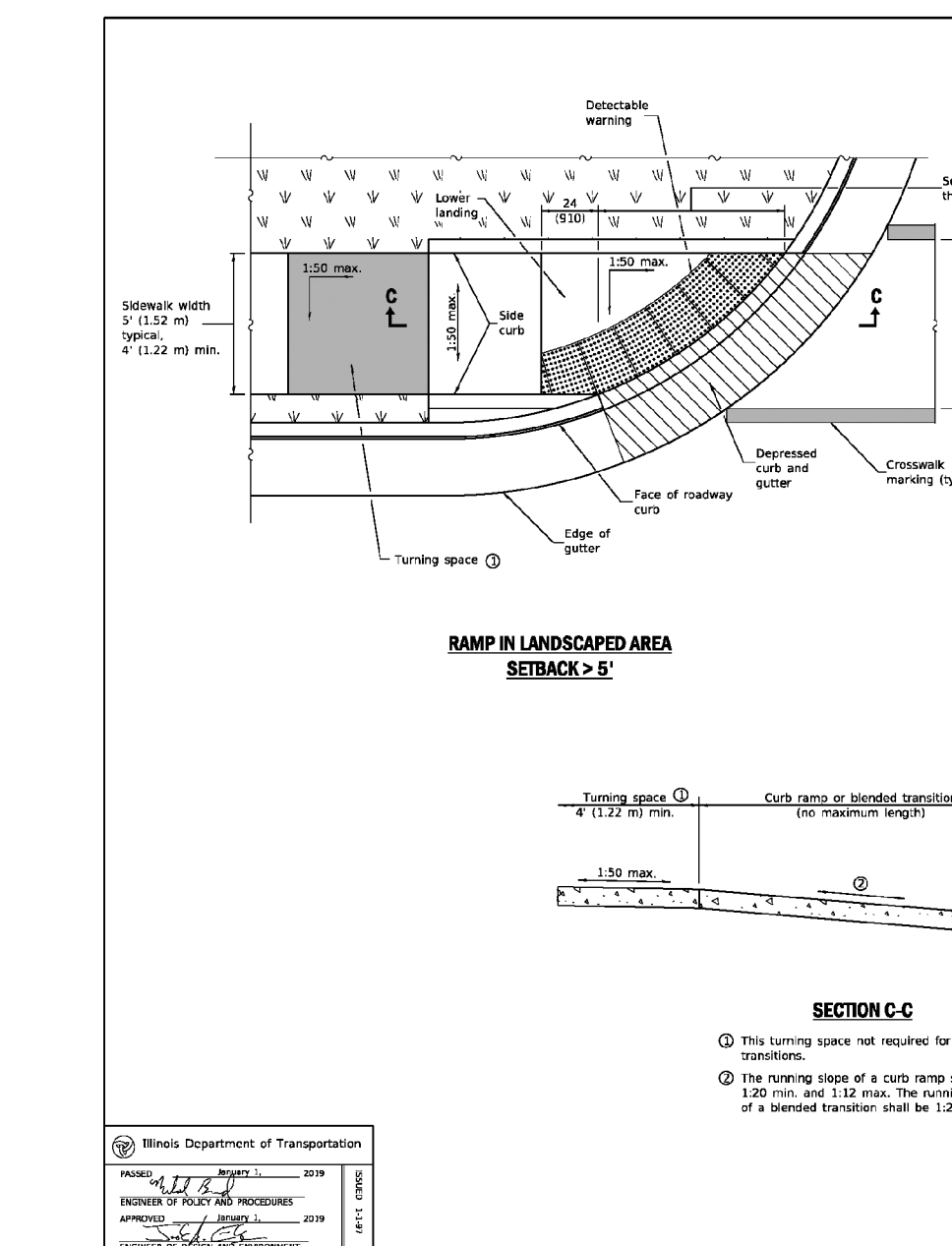
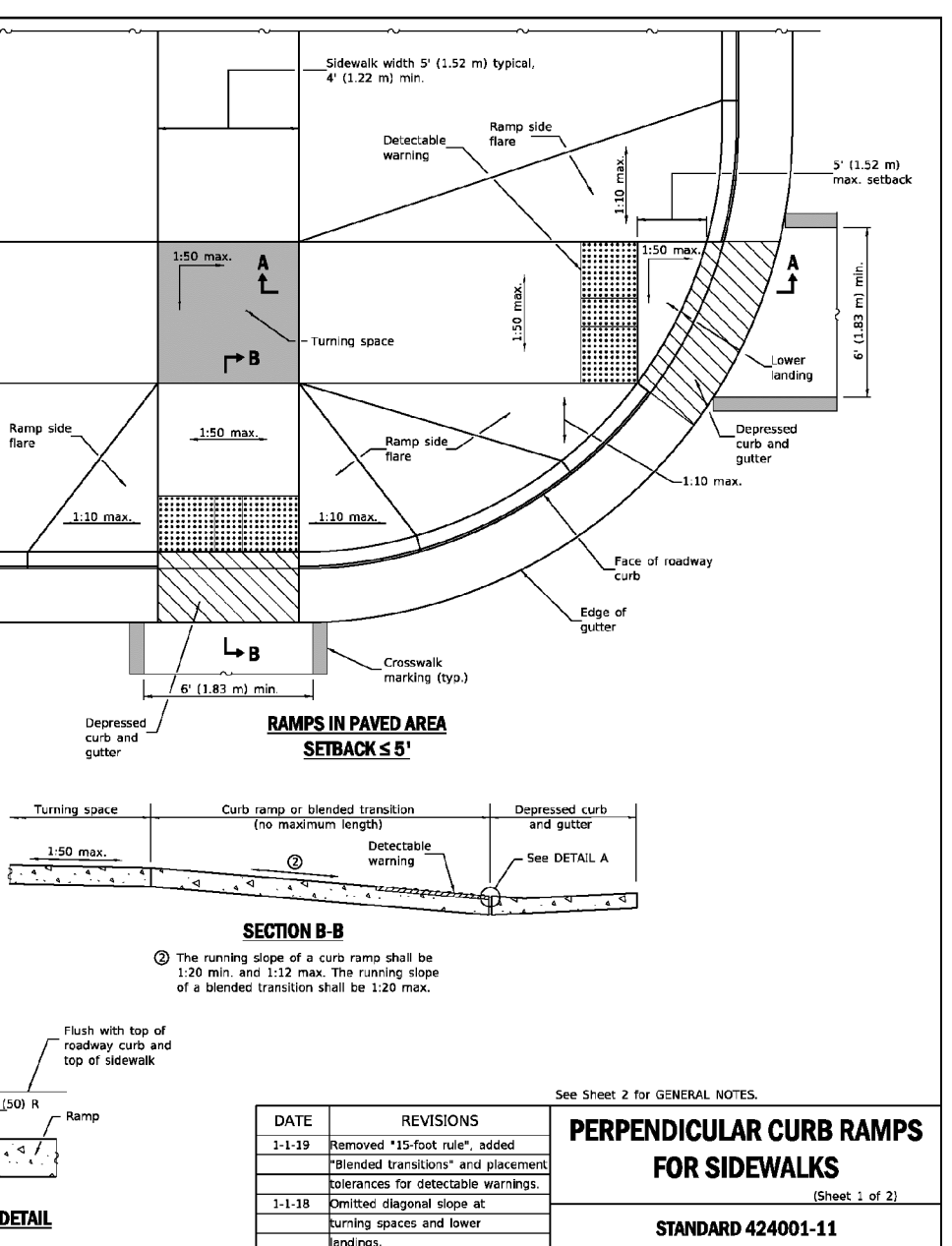
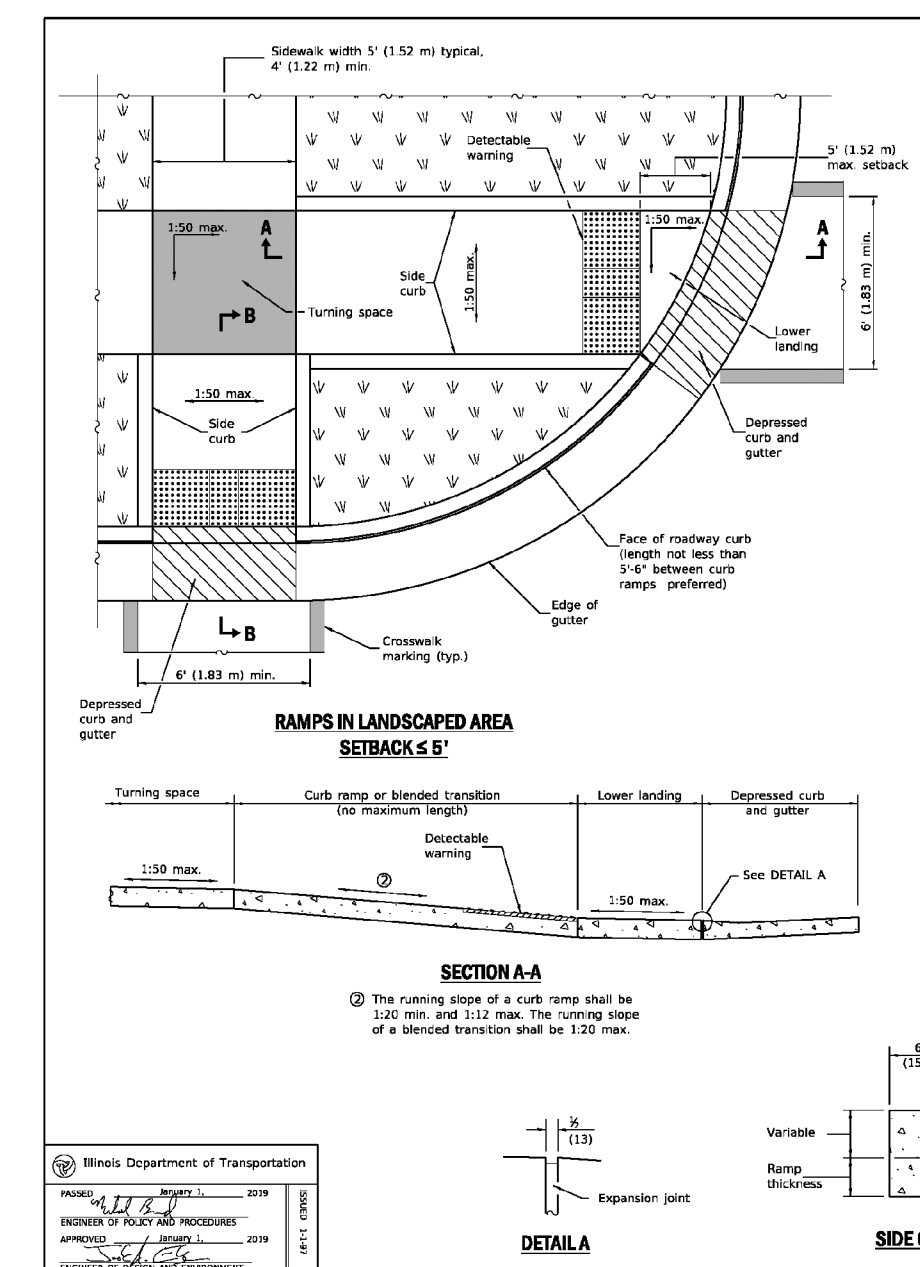
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DATE: 11/20/16
DESIGNER: CM86L/TFY
CHECKER: 11/22/16

PVT-6

VILLAGE OF HUNTLEY
10871 MAIN STREET
HUNTLEY, IL 61422
(815) 515-5200

MINIMUM PAVEMENT REQUIREMENTS PARKING LOTS
DATE: 11/20/16
DESIGNER: CM86L/TFY
CHECKER: 11/22/16

PVT-6



M:\2020\01-18 Huntley_Cooling Tower\Drawings\Construction\Drawings\01-18 HAMPTON INN REV PLAN 6-17-20 - 10-DETAILS.dwg (REVISED 6-24-2020) 2:10 PM By: Tfranka, COPYRIGHT 2020 - JOSEPH A. SCHUDT & ASSOCIATES

Joseph A. Schudt & Associates
9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

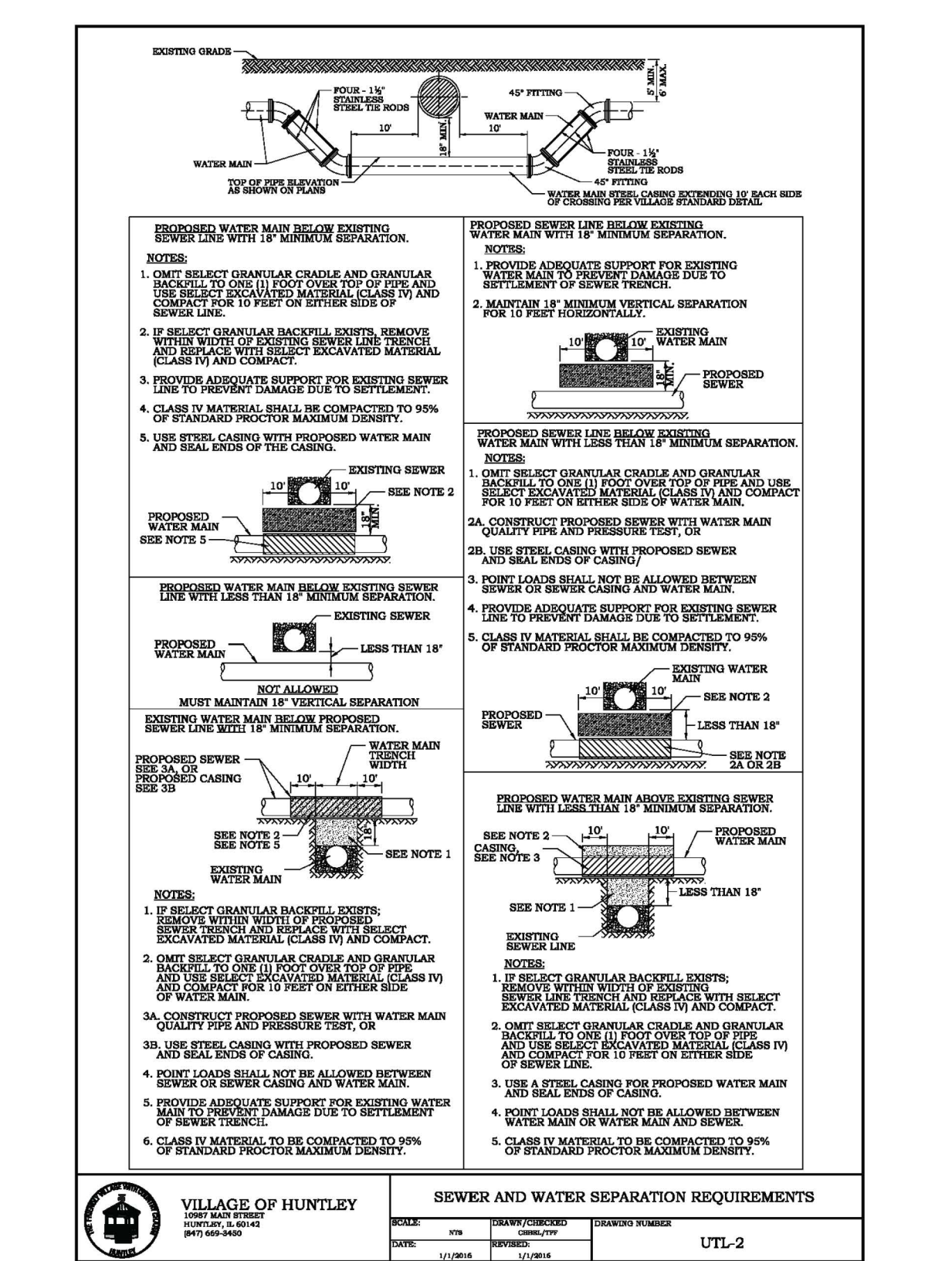
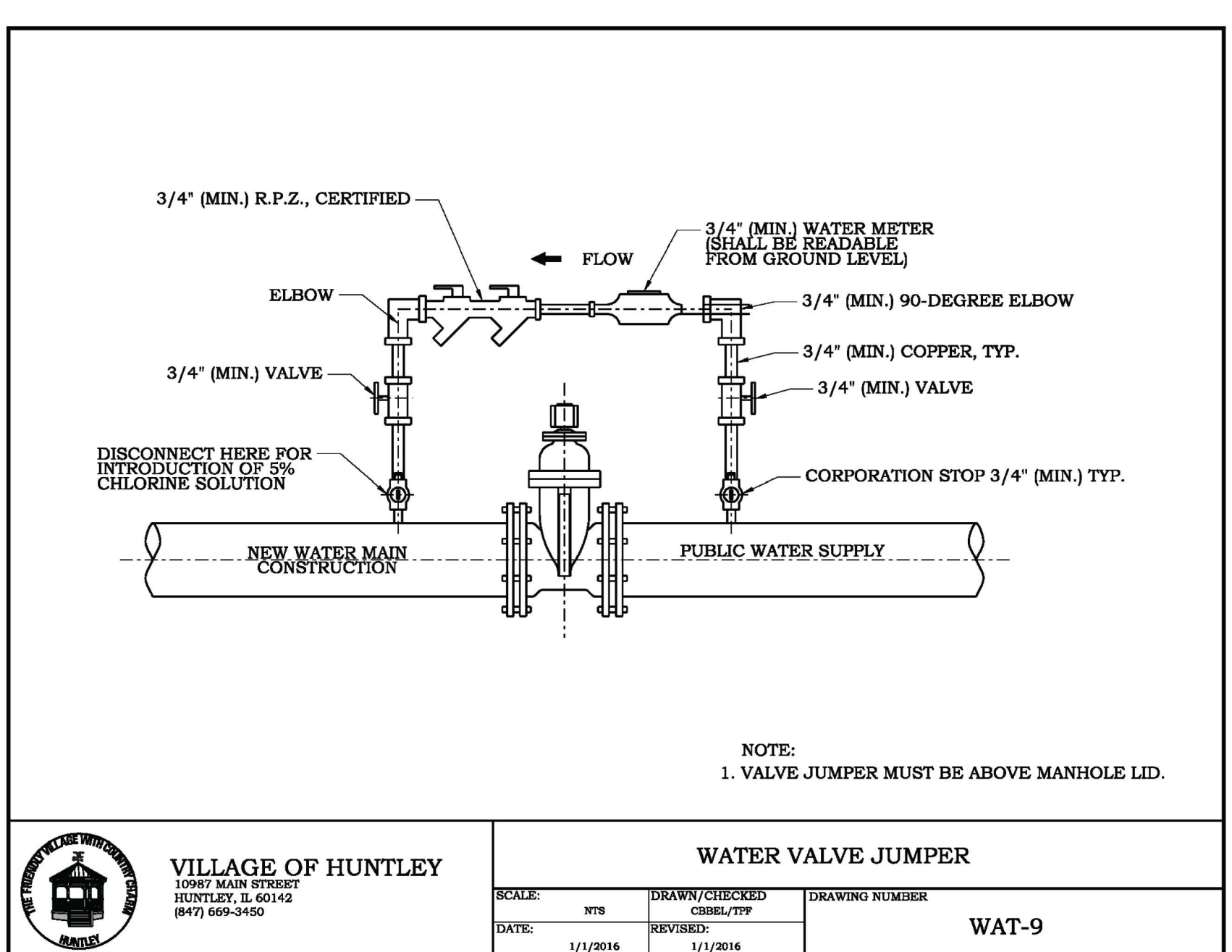
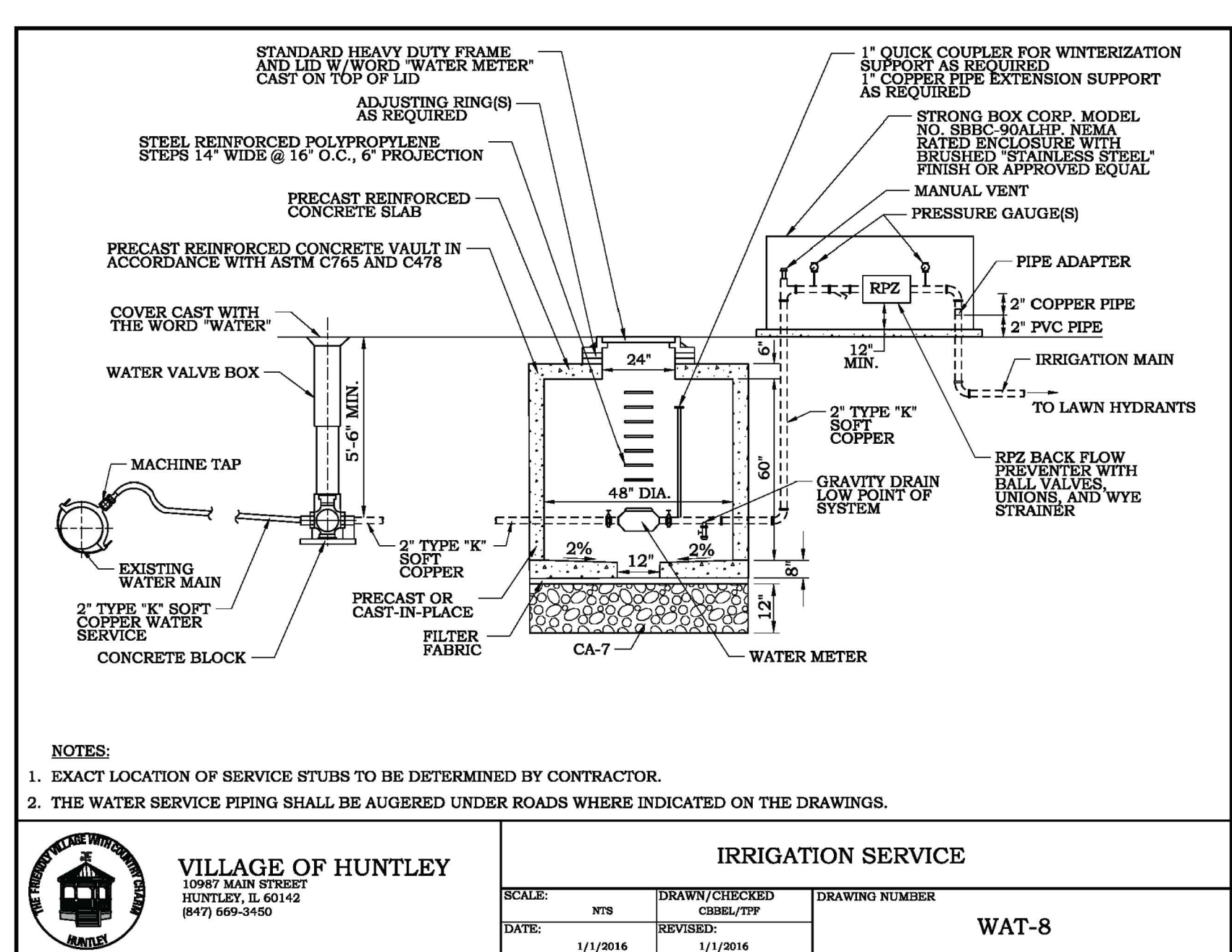
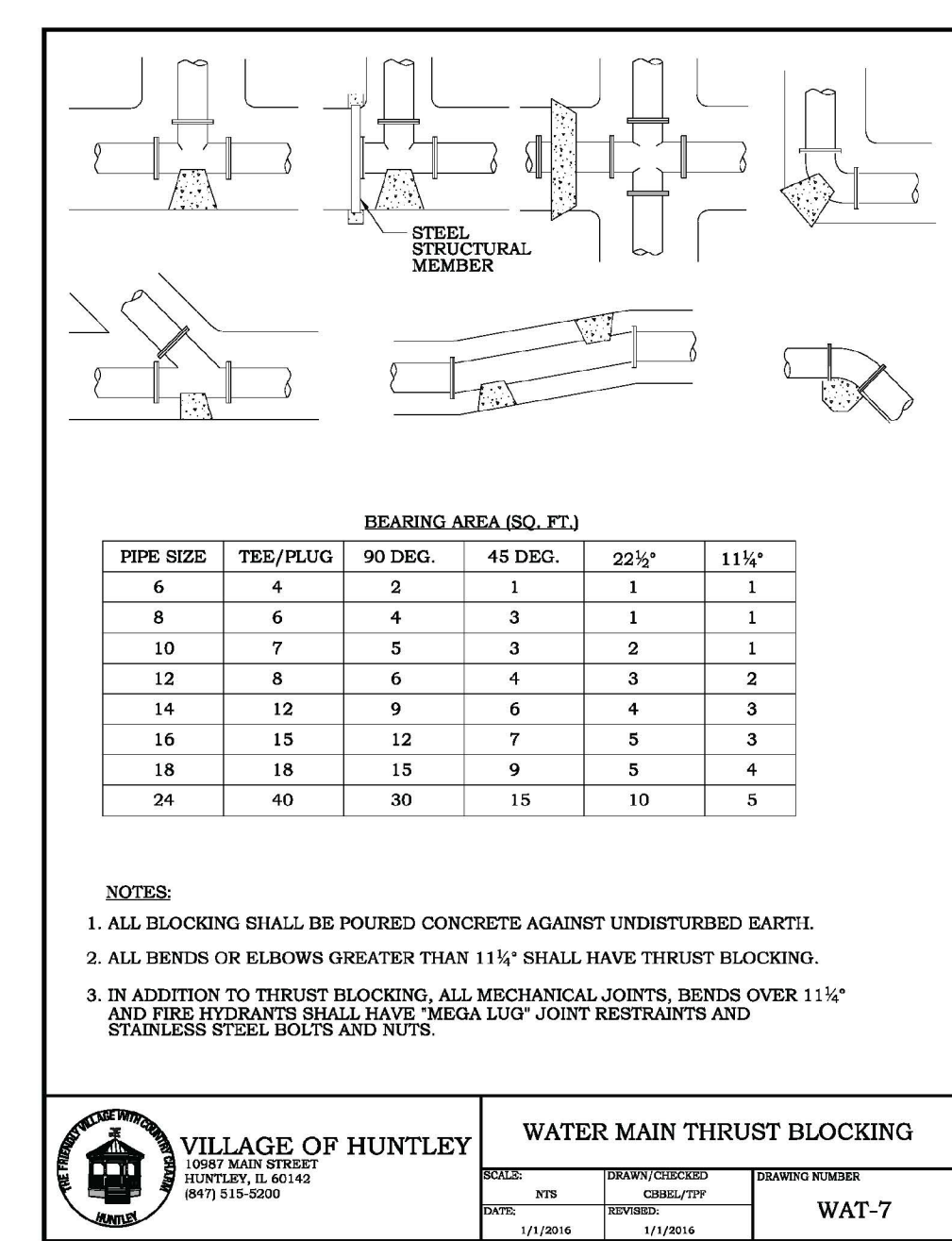
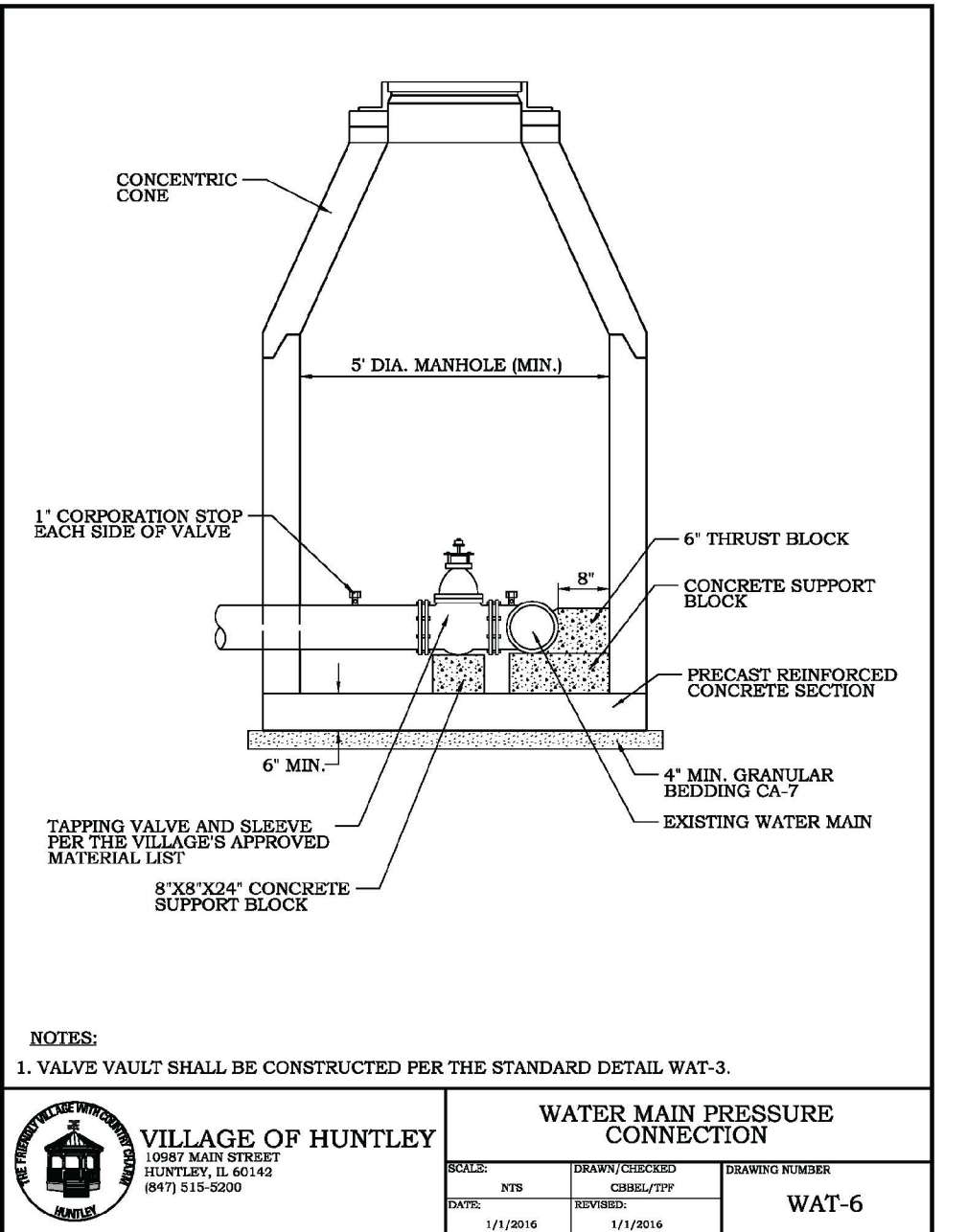
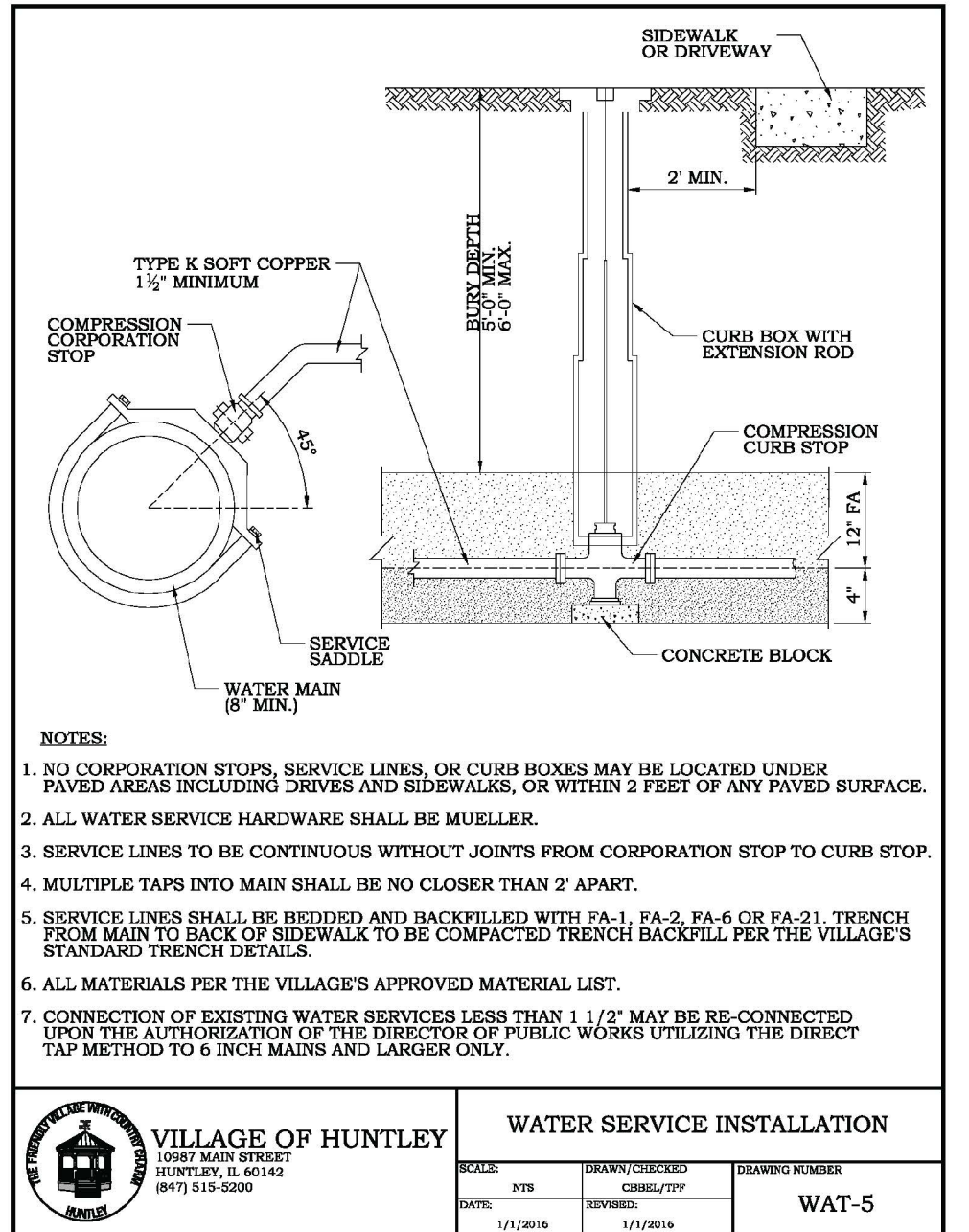
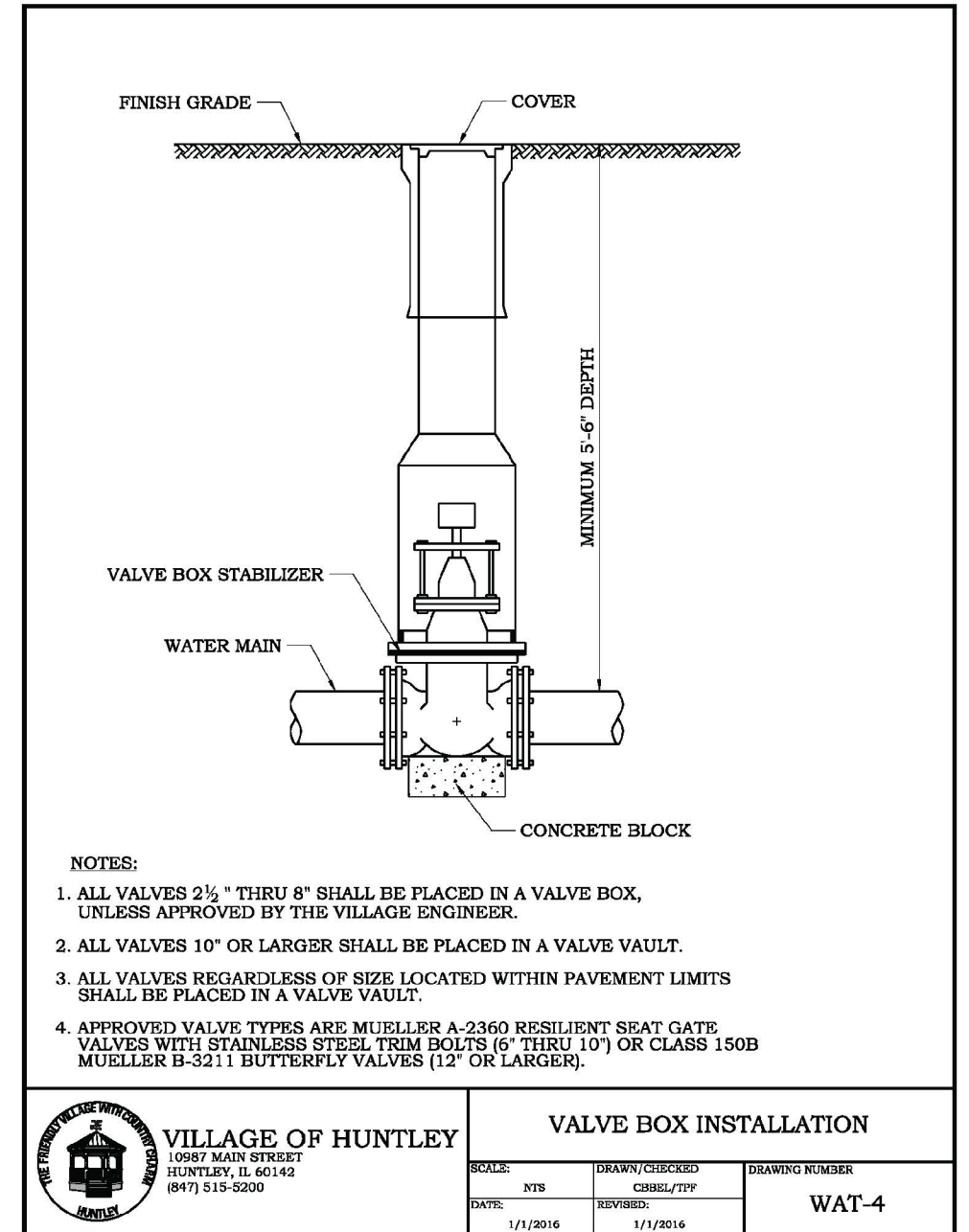
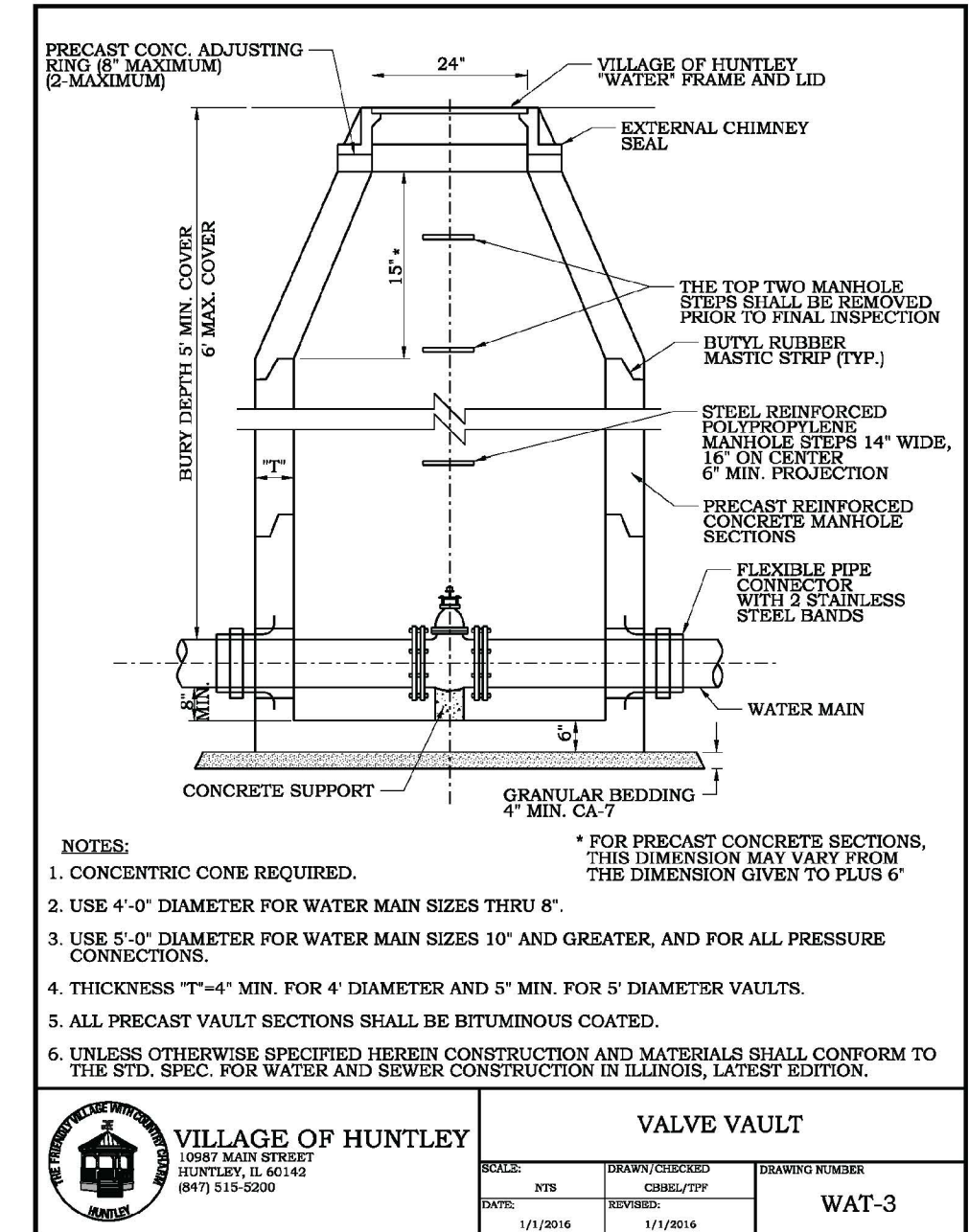
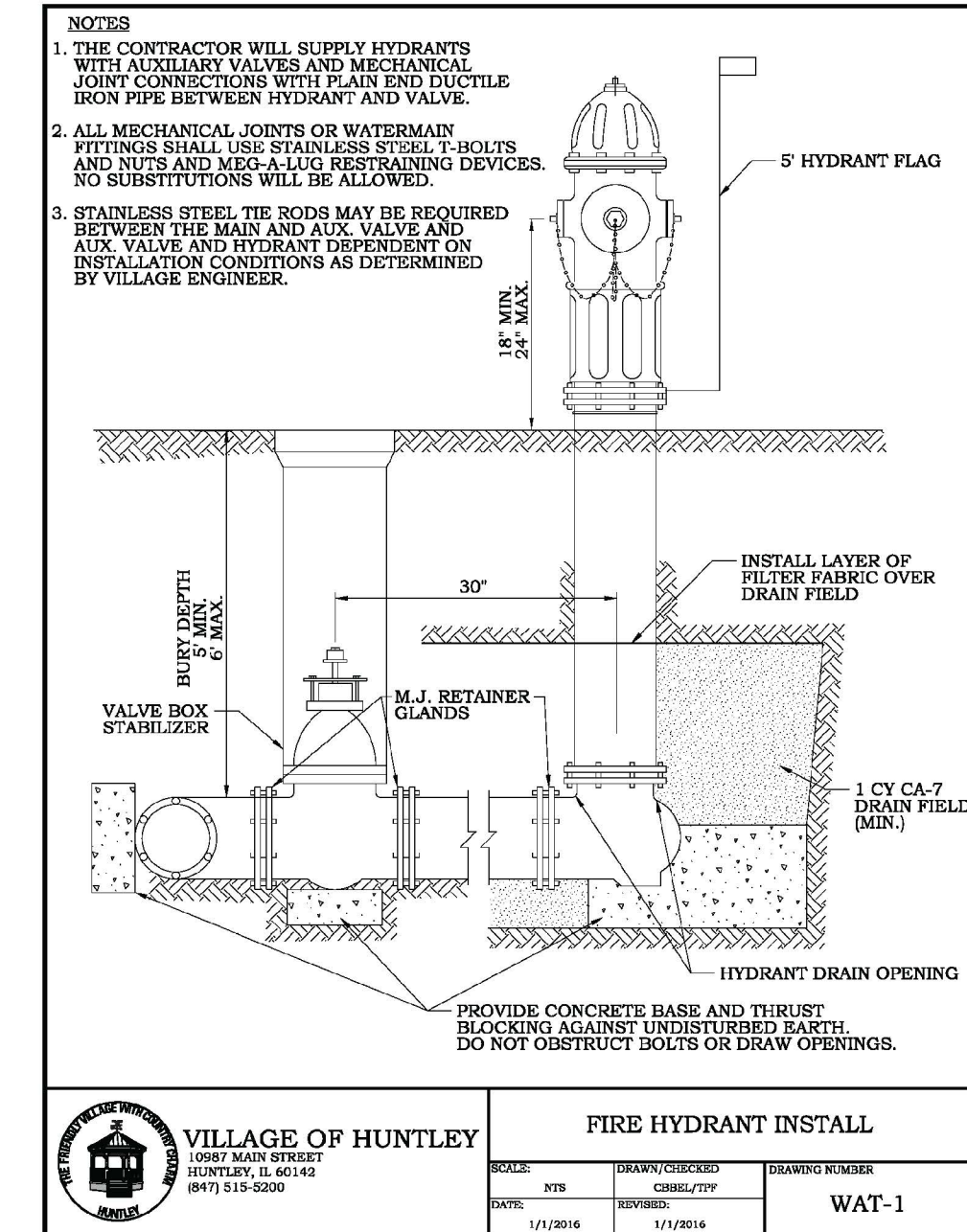
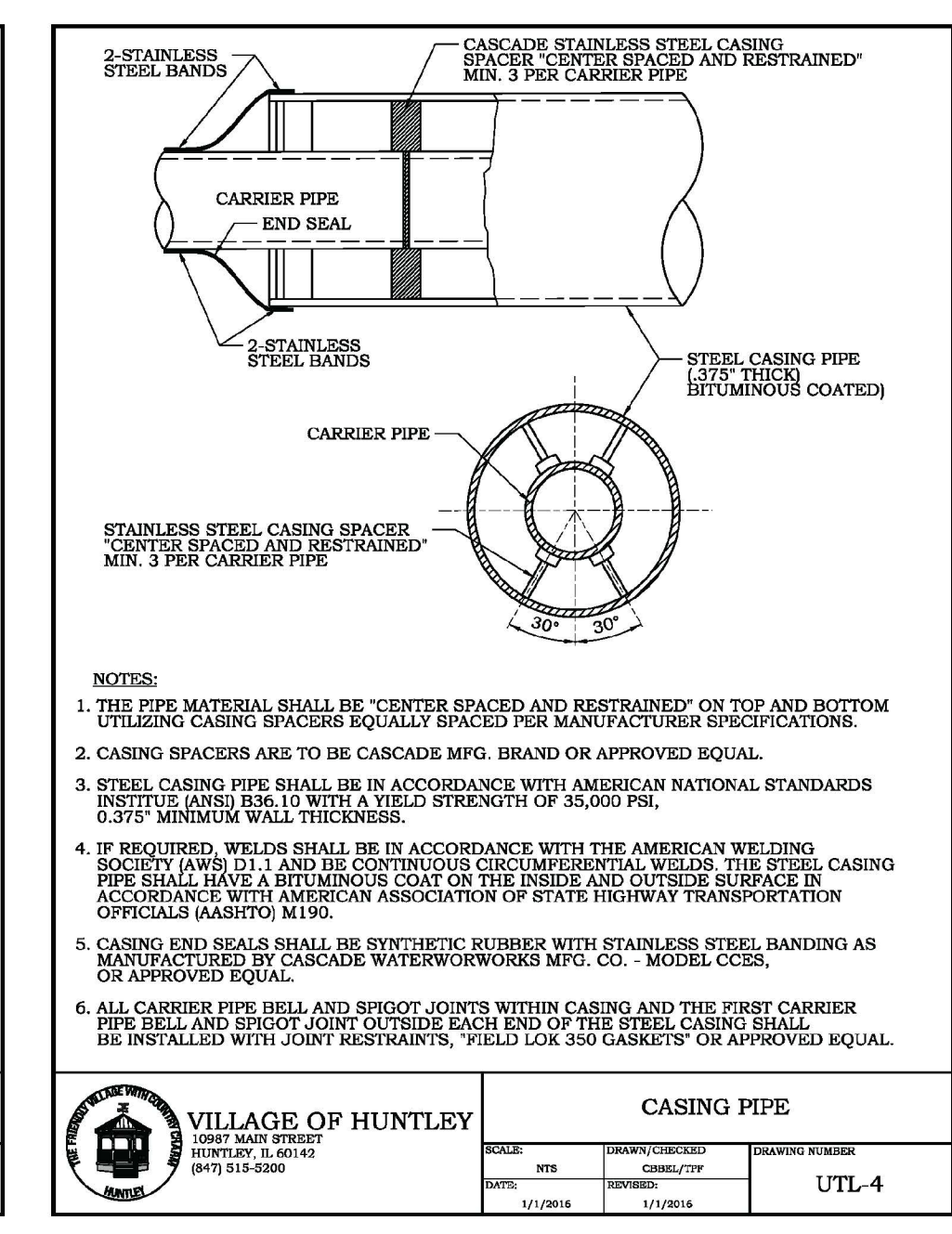
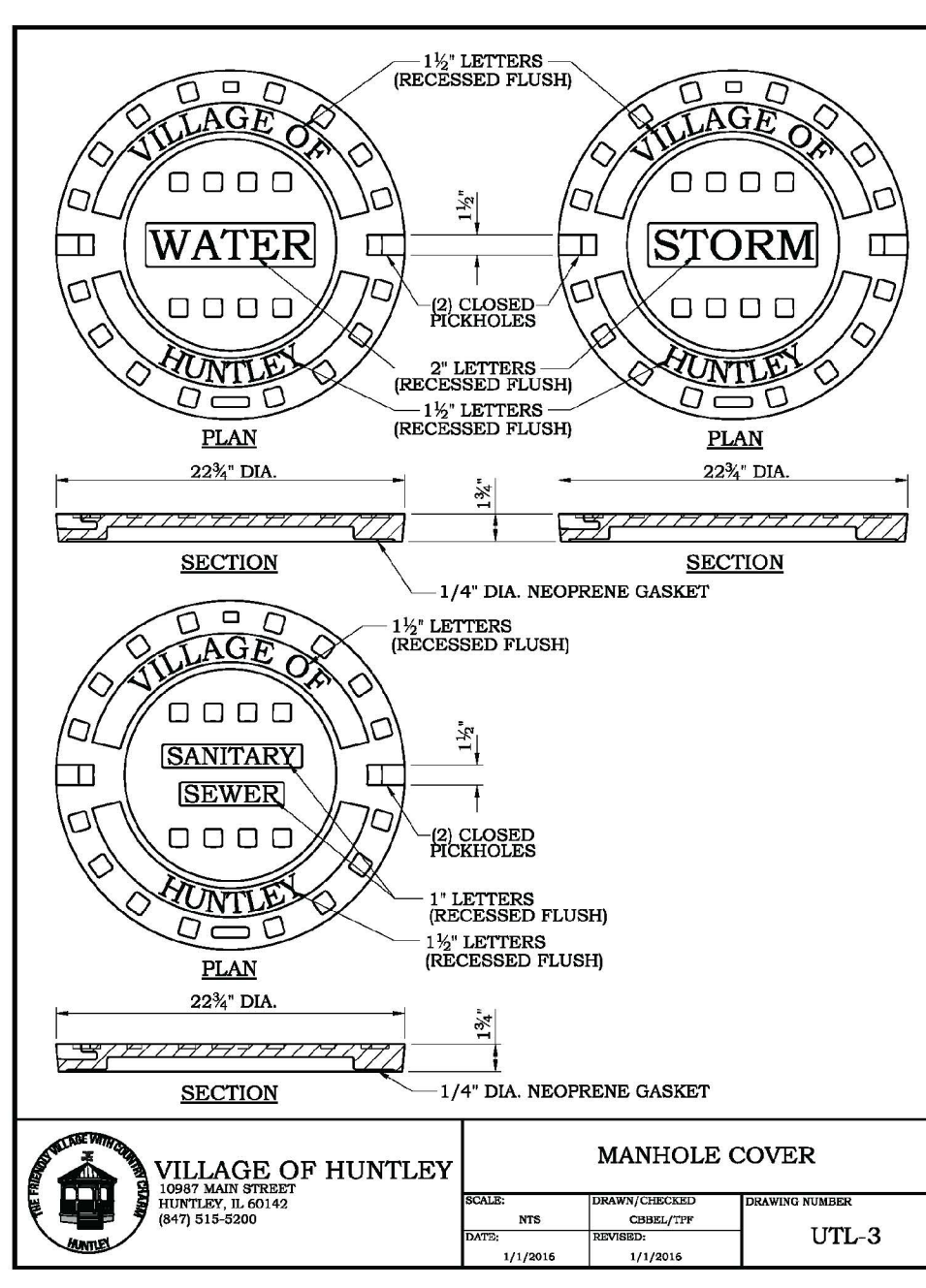
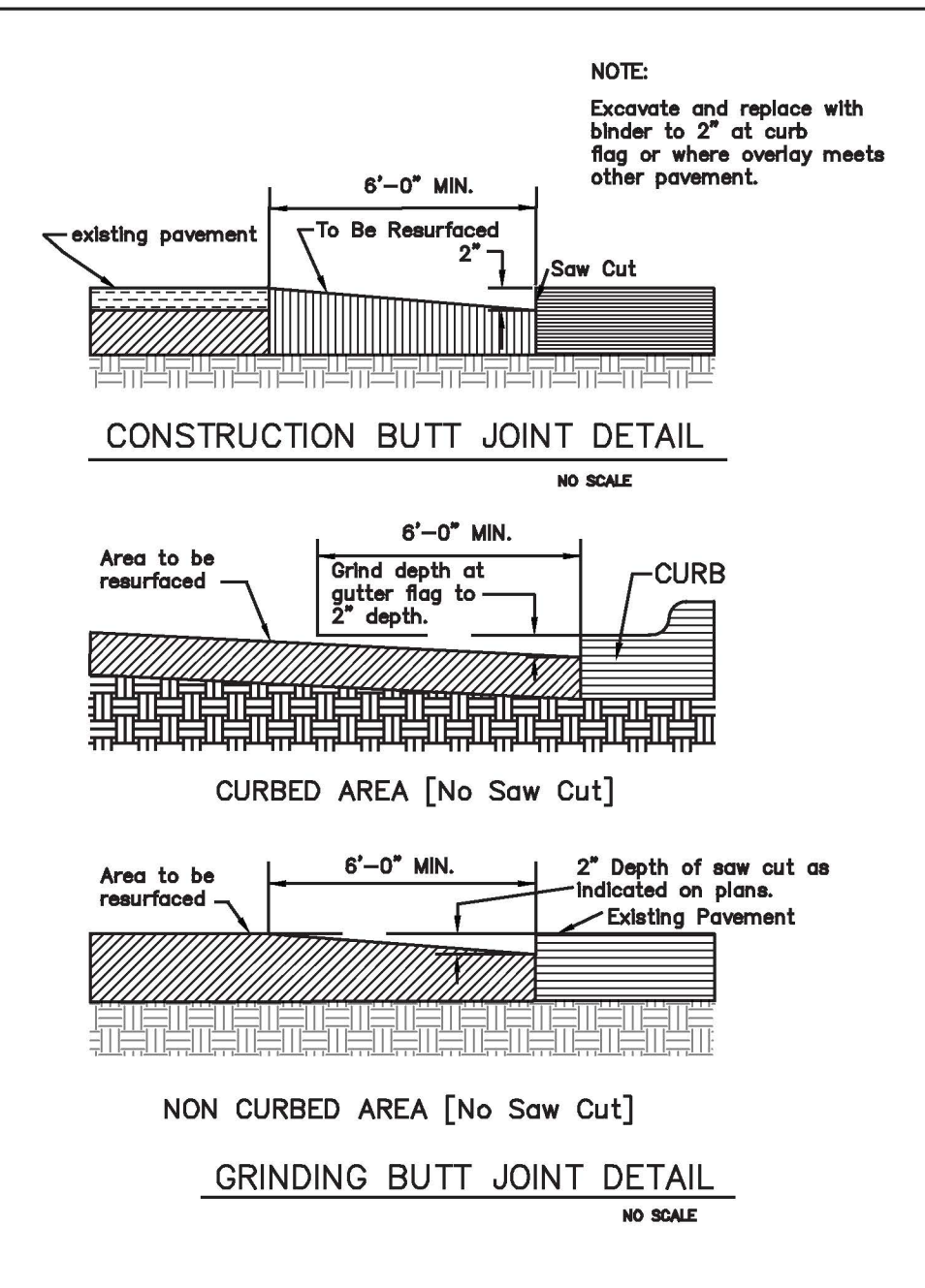
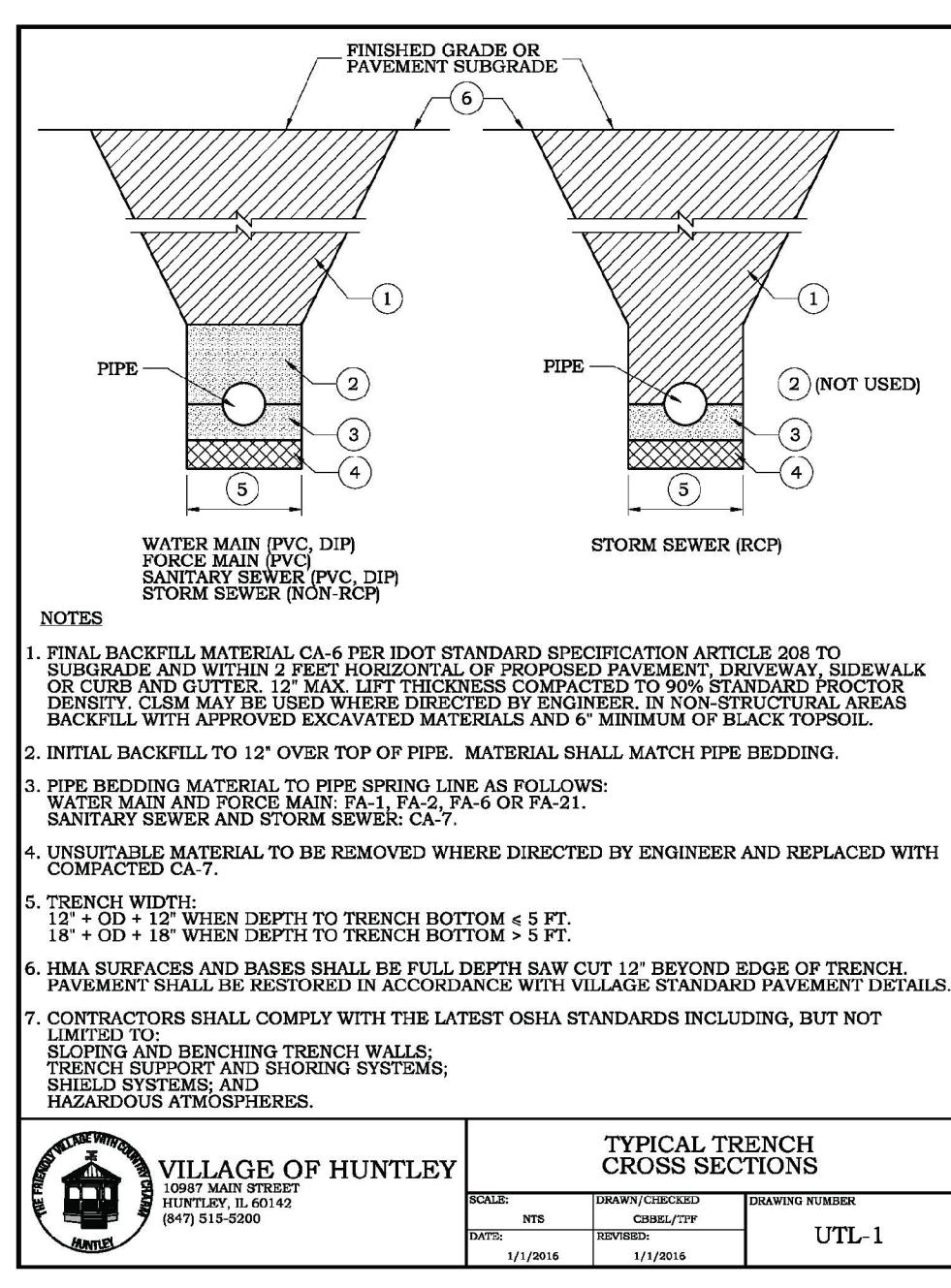
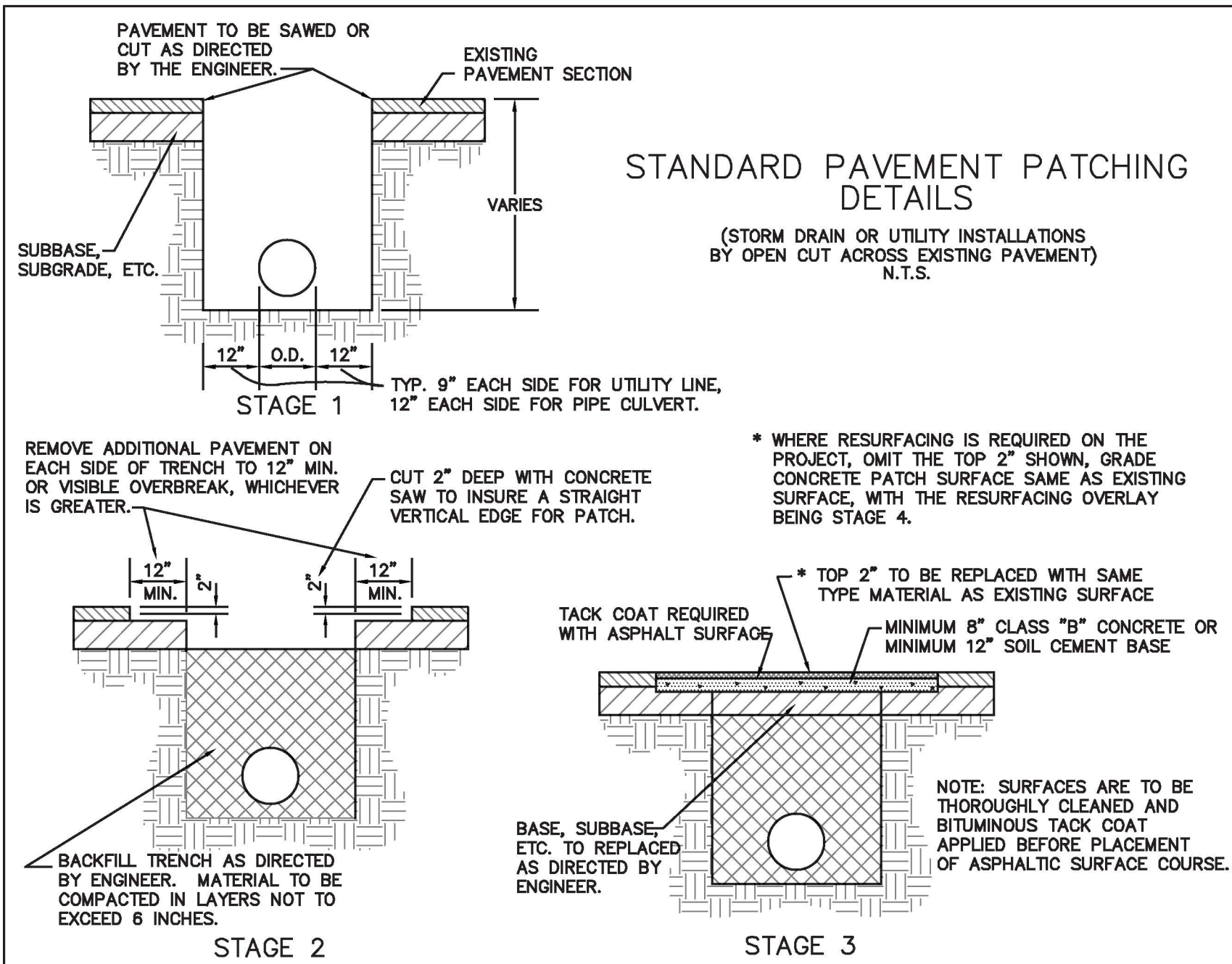
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REVISIONS: 6-24-20

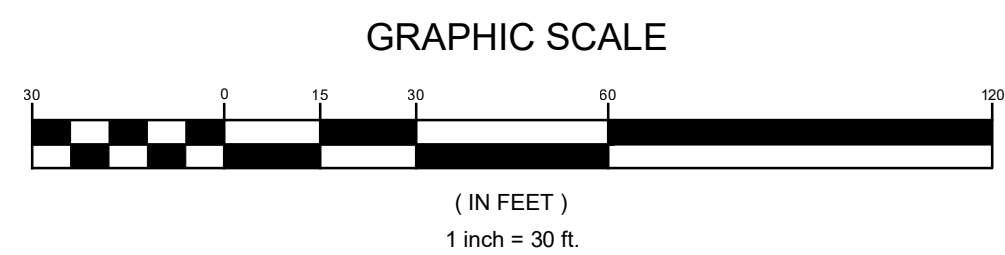
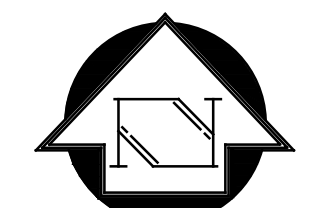
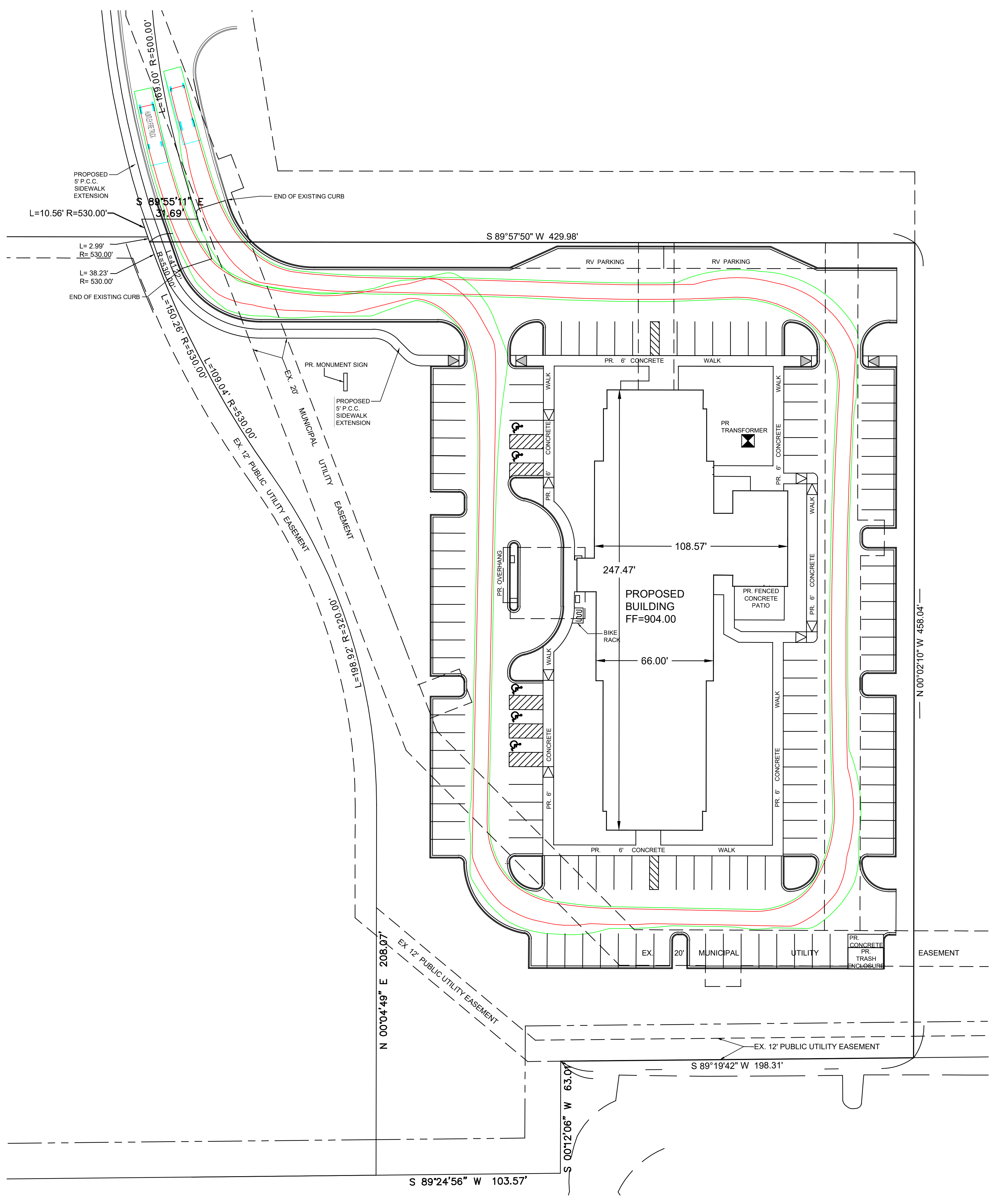
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HOLIDAY INN EXPRESS & SUITES
HUNTLEY, IL
CONSTRUCTION DETAILS

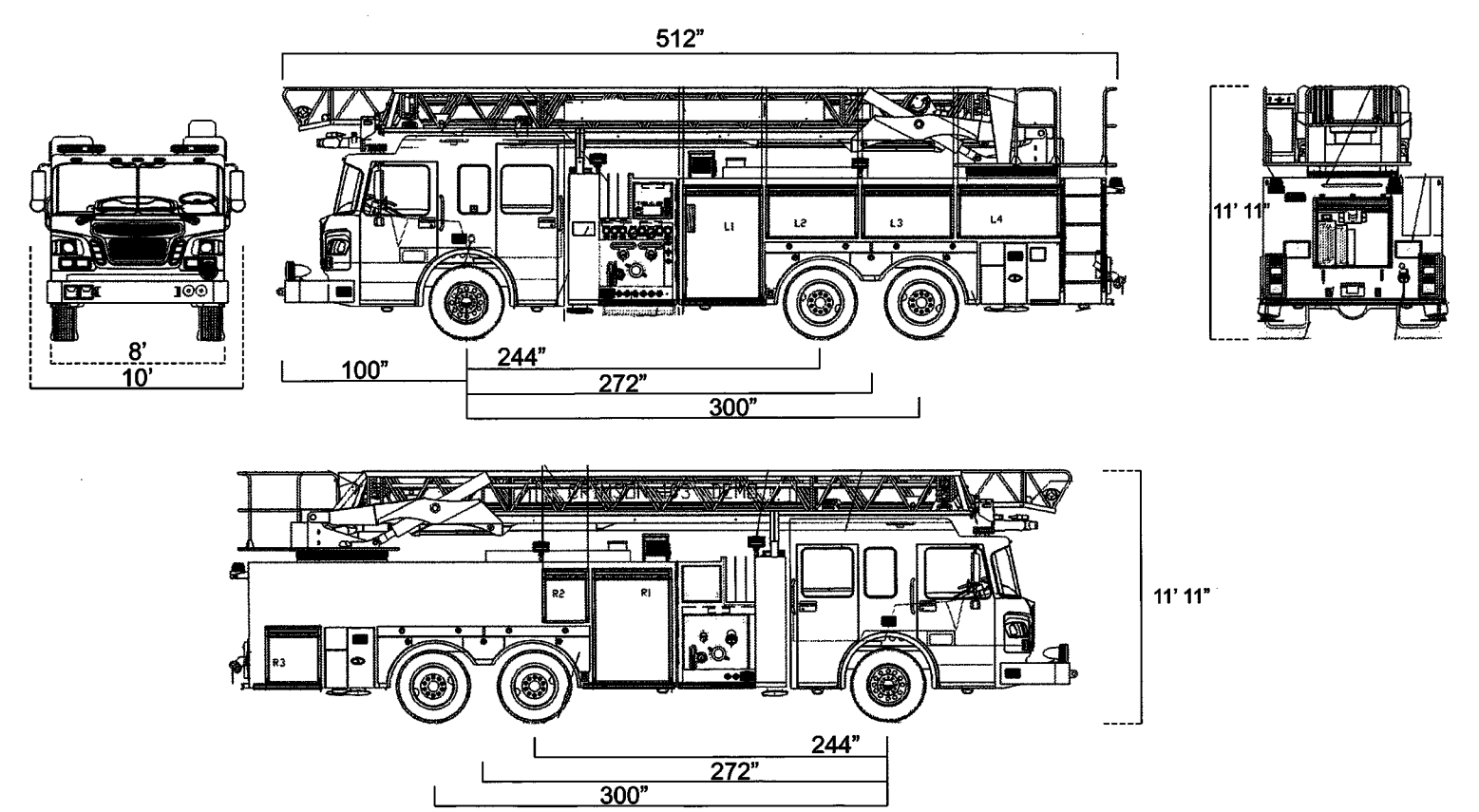
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File Name: 01-18 HAMPTON INN REV PLAN 6-17-20
Drawn: TMF
Checked: DWO
Sheet:
10 of 12
Project No.: 20-019



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Huntley Truck 983

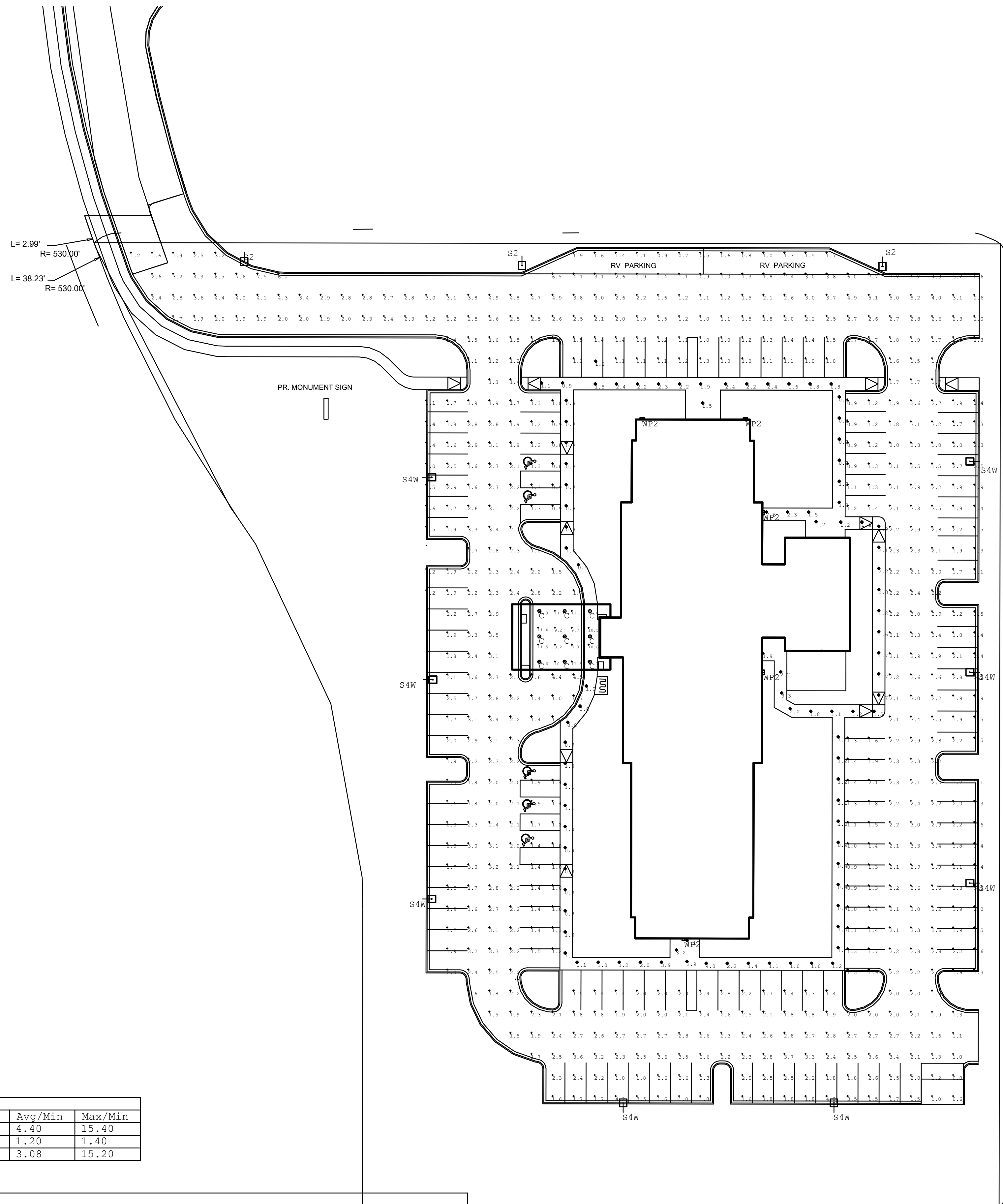


Joseph A. Schudt & Associates
 9455 ENTERPRISE DRIVE MOKENA, IL 60448
 PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065
 (184-001172)
JAS
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REVISIONS:
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HAMPTON INN
 HUNTLEY, IL
 FIRE TRUCK PATH

Date: 6-17-20
 Scale: 1" = 30'
 File Name: 20-019 FIRE TRUCK PATH-15-17-20
 Drawn: TMF
 Checked: DWO
 Sheet:
 1 OF 1
 Project No.:
 20-019



- NOTES:
- 1) CANOPY BUILT 12' AFG
 - 2) 2.5' CONCRETE BASE ASSUMED ON POLE ASSEMBLIES
 - 3) WALL MOUNTED FIXTURES SHOWN @ 12' AFG

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AND DRIVE	ILLUMINANCE	Fc	2.20	7.7	0.5	4.40	15.40
UNDER CANOPY	ILLUMINANCE	Fc	11.01	12.9	9.2	1.20	1.40
WALKWAYS	ILLUMINANCE	Fc	1.54	7.6	0.5	3.08	15.20

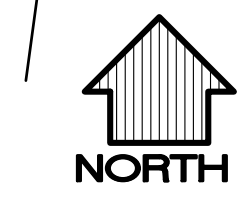
Luminaire Schedule									
Symbol	Qty	Label	Description	Arrangement	Lum. Lumens	LLF	Lum. Watts	Total Watts	
○	9	C	PRESCOLITE LTR-6RD-H-SL15L-DM1 LTR-6RD-T-SL40K8WDS	SINGLE	1586	0.900	18.7	168.3	
□	3	S2	BEACON VP-L-80L-180-4K7-2-UNV-A-DB/SSS-B-25-40-A-1-B3-DB	SINGLE	22645	0.850	181.3	543.9	
□	8	S4W	BEACON VP-L-80L-180-4K7-4W-UNV-A-DB/SSS-B-25-40-A-1-B3-DB	SINGLE	22079	0.850	181.3	1450.4	
□	5	WP2	HUBBELL LNC2-18LU-4K-4 WALL MOUNTED @ 20' AFG	SINGLE	3998	0.900	44.8	224	

Calculations provided by LEC & CO.

Date: 6/30/2020

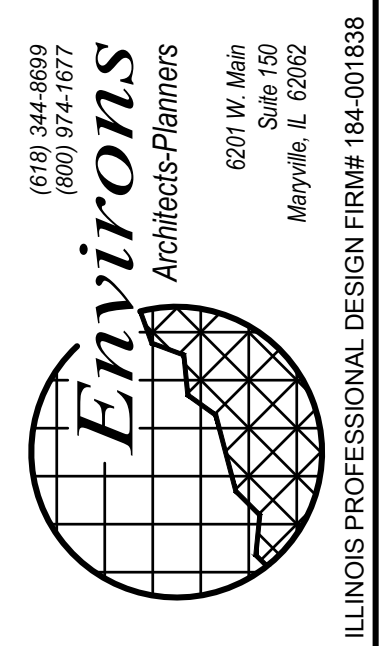
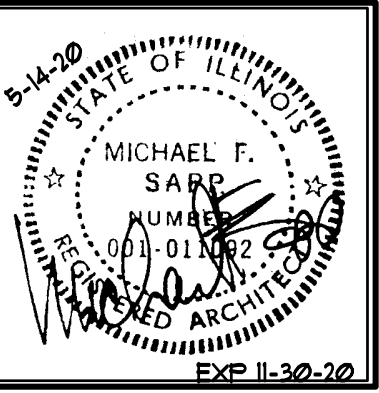
Filename: HAMPTON INN HUNTLEY IL.AGI

Designed by: EE



SITE LIGHTING PLAN

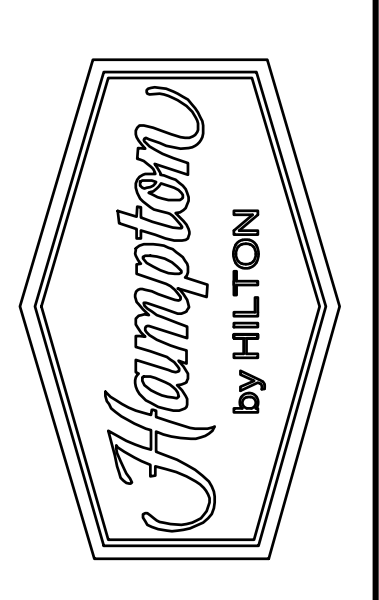
SCALE: 1"=30'-0"



JOB NO.
20003

DATE:
MAY 14, 2020

REVISED:



A NEW HOTEL:
HAMPTON INN
HUNTLEY, ILLINOIS
HIGHWAY 47
SITE LIGHTING PLAN

SHEET
SL-1
OF XXI

VIPER L

OPTICS

STRIKE

LARGE VIPER LUMINAIRE

Cat.#	
Job	Type



Approvals

SPECIFICATIONS

Intended Use:

The Beacon Viper luminaire is available in two sizes with a wide choice of different LED wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

Construction:

- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and microcellular polyurethane foam gasket ensures a weather-proof seal around each individual optic.

Electrical:

- Luminaire accepts 100V through 277V, 50 Hz to 60 Hz (UNV), 347V, or 480V input.
- Power factor is $\geq .90$ at full load.
- Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls.
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Ambient operating temperature -40°C to 40°C
- Surge protection - 20kA.
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

Controls/Options:

- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 360° around the luminaire. When no motion is detected for the specified time, the motion response system reduces the wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration.
- Available with Energeni for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night (see www.beaconproducts.com/products/energeni).
- In addition, Viper can be specified with **SiteSync™** wireless control system for reduction in energy and maintenance costs while optimizing light quality 24/7. For more details, see ordering information or visit: www.hubbelling.com/sitesync

Installation:

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.

Finish:

- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

Certifications/Ratings:

- DesignLights Consortium (DLC) qualified, consult DLC website for more details: <http://www.designlights.org/QPL>
- Certified to UL 1598, UL 8750, and CSA C22.2
- 3G rated for ANSI C136.31 high vibration applications with MAF mounting
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at: http://www.beaconproducts.com/products/viper_large

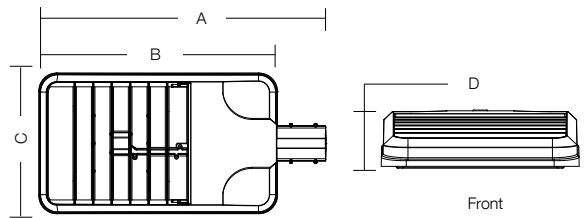
Warranty:

Five year limited warranty for more information visit: www.hubbelling.com/resources/warranty

PRODUCT IMAGE(S)

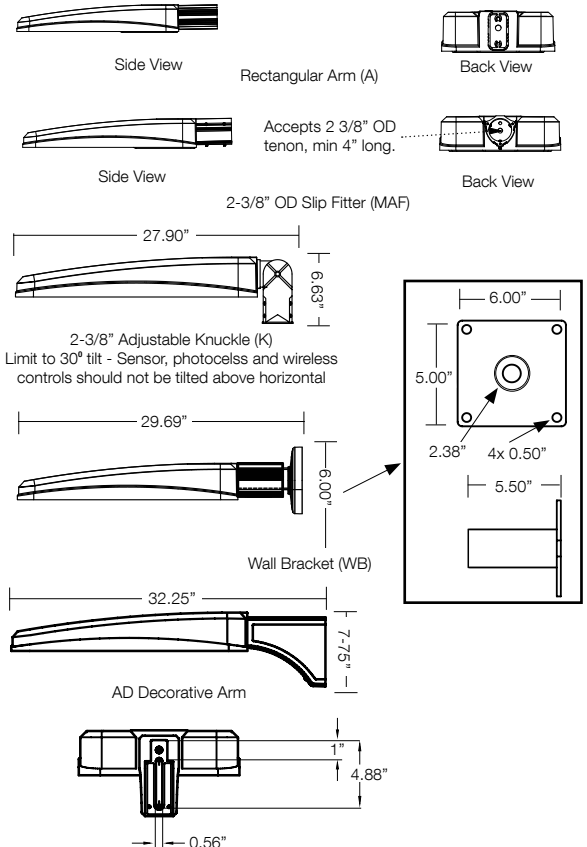


DIMENSIONS



A	B	C	D	Weight:	EPA
29.9"	24.19"	14.25"	4.13"	25.0 lbs	1.2 ft ²
(741 mm)	(614 mm)	(362 mm)	(105 mm)	(11.3 kg)	

MOUNTING OPTIONS



CERTIFICATIONS/LISTINGS



*3000K and warmer CCTs only



Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 800-345-4928

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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HUBBELL
Lighting

ORDERING INFORMATION ORDERING EXAMPLE: VPL/96L-280/4K7/4W/UNV/A/DB/7PR-TL/GENI-04/BC

VPL								
SERIES	LED ENGINE	CCT/CRI ⁷	ROTATION	VOLTAGE	COLOR	OPTIONS		
VPL Viper	64L-135 135W LED array 80L-180 180W LED array 80L-235 235W LED array 96L-220 220W LED array 96L-280 280W LED array 96L-315 315W LED array 96L-395 395W LED array	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI	Leave blank for no rotation L ⁵ Optic rotation left R ⁵ Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	BL Black Textured DB Dark Bronze Textured GYS Light Gray Smooth PS Platinum Silver Smooth WH White Textured CC Custom Color	F Fusing BSP Bird Spikes BC Backshield (available for FR, 2, 3, 4, 4W Optics)		

DISTRIBUTION

- FR Type 1/Front Row
- 2 Type 2
- 3 Type 3
- 4 Type 4
- 4W Type 4 Wide
- 5QM Type 5QM
- 5QN Type 5QN
- 5R Type 5R (rectangular)
- 5W Type 5W (round wide)
- TC Tennis Court

MOUNTING

- A Rectangular Arm (formerly RA) for square or round pole
- MAF Mast Arm Fitter (formerly SF2) for 2-3/8" OD horizontal arm
- K Knuckle (formerly PK2) limit to 30° tilt or 2-3/8" OD horizontal arm or vertical tenon
- WB Wall Bracket
- AD Universal Arm for square pole
- AD3 Universal Arm for 2.4"-4.1" round pole
- AD4 Universal Arm for 4.2"-5.3" round pole
- AD5 Universal Arm for 5.5"-5.9" round pole
- AD6 Universal Arm for 6.0"-6.5" round pole

CONTROL OPTIONS

- 7PR 7-Pin Receptacle only (shorting cap, photo control, or wireless control provided by others)
- 7PR-SC 7-Pin Receptacle w/Shorting Cap
- 7PR-TL 7-Pin Receptacle w/Twist Lock photo control
- SCP/_F^{1,2,6} Programmable Occupancy Sensor w/daylight control
- GENI-XX³ ENERGENI
- SWP^{1,4} SiteSync Pre-Commission
- SWPM^{1,2,4} SiteSync Pre-Commission w/ Sensor

HOUSE SIDE SHIELD ACCESSORIES

- HSS/EVP-L/90-FB/XXX 90° shield front or back
- HSS/EVP-L/90-LR/XXX 90° shield left or right
- HSS/EVP-L/270-FB/XXX 270° shield front or back
- HSS/EVP-L/270-LR/XXX 270° shield left or right
- HSS/EVP-L/360/XXX Full shield

(Replace XXX with notation for desired finish color)
(Refer to page 5 for shield images)

MOUNTING ACCESSORIES

- VPL-AD-RPA3 2.4"-4.1" Round Pole Adapter for AD arm
- VPL-AD-RPA4 4.2"-5.3" Round Pole Adapter for AD arm
- VPL-AD-RPA5 5.5"-5.9" Round Pole Adapter for AD arm
- VPL-AD-RPA6 6.0"-6.5" Round Pole Adapter for AD arm

¹ Not available with other wireless control or sensor options
² Specify mounting height; 8 = 8" or less, 40 = 9" to 40"
³ Specify routine setting code (example GENI-04). See ENERGENI brochure and instructions for setting table and options. Not available with sensor or SiteSync options.
⁴ Specify group and zone at time of order. See www.hubbellighting.com/sitesync for further details. Order at least one SiteSync interface accessory SWUSB or SWTAB. Each option contains SiteSync License, GUI, and Bridge Node
⁵ Only available with FR, 2, 3, 4, 4W and 5R distributions
⁶ Order at least one SCP-REMOTTE per project location to program and control the occupancy sensor
⁷ This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at: http://cdn.beaconproducts.com/content/products/specs/specs_files/Viper_Large_LED_turtle_spec_sheet.pdf

PRECOMMISSIONED SITESYNC ORDERING INFORMATION: When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit www.hubbell-automation.com/products/sitesync/ or contact Hubbell Lighting tech support at (800) 345-4928.

SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: VP-L/80L-235/4K7/3/UNV/A/DB/SWP/ SiteSync only
 VP-L/80L-235/4K7/3/UNV/A/DB/SWPM-40F/ SiteSync with Motion Control

Accessories and Services (Ordered Separately)

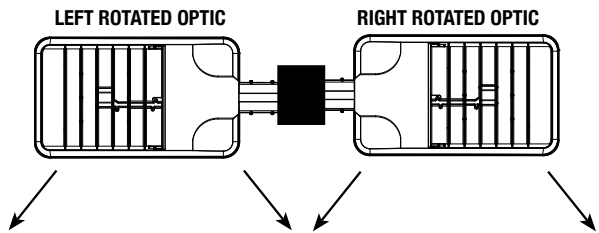
Catalog Number	Description
SCP-REMOTTE	Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor
SWUSB*	SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node
SWTAB*	Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node.
SWBRG	SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested.
SW7PR+	SiteSync 7 Pin on fixture module On/Off/Dim, Daylight Sensor 120-480VAC

* When ordering SiteSync at least one of these two interface options must be ordered per project.
 + Available as a SiteSync retrofit solution for fixtures with an existing 7pin receptacle.

Hubbell Control Solutions - Accessories (sold separately)

Catalog Number	Description	HCS System
NXOFM-1R1D-UNV	On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with HubbNET Radio and Bluetooth® Radio, 120-480VAC	NX Distributed Intelligence™
WIR-RME-L	On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with wiSCAPE Radio, 110-480VAC	wiSCAPE® Lighting Control

For additional information related to these accessories please visit www.hubbellcontrolsolutions.com. Options provided for use with integrated sensor, please view specification sheet ordering information table for details.



SiteSync 7-Pin Module



- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)
- Does not interface with occupancy sensors



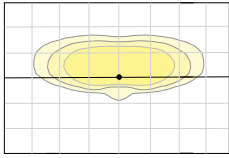
PERFORMANCE DATA				5K (5000K nominal, 70 CRI)					4K (4000K nominal, 70 CRI)					3K (3000K nominal, 70 CRI)				
# LED'S	DRIVE CURRENT (MILLIAMPS)	SYSTEM WATTS	DISTRIBUTION TYPE	LUMENS	LPW ¹	B	U	G	LUMENS	LPW ¹	B	U	G	LUMENS	LPW ¹	B	U	G
64	625 mA	135W	1A	18220	132	2	0	2	18783	137	2	0	2	16341	119	2	0	2
			2	17228	125	2	0	2	17761	129	2	0	2	15452	112	2	0	2
			3	17257	125	2	0	3	17791	129	2	0	3	15478	112	2	0	3
			4	16864	123	1	0	4	17386	126	1	0	4	15125	110	1	0	4
			4W	16648	112	2	0	4	17163	115	2	0	4	14931	100	2	0	4
			5QM	17259	125	4	0	2	17792	129	4	0	2	15479	112	4	0	2
			5QN	18023	131	4	0	0	18580	135	4	0	0	16165	117	4	0	0
			5R	17410	127	4	0	4	17948	130	4	0	4	15615	113	4	0	4
			5W	16498	120	4	0	2	17009	124	4	0	3	14797	108	4	0	2
			TC	15925	110	2	1	2	16417	113	2	1	2	14283	98	1	1	2
80	700 mA	180W	1A	23230	128	2	0	2	23948	132	2	0	2	20835	115	2	0	2
			2	21965	121	3	0	3	22645	125	3	0	3	19701	109	2	0	3
			3	22003	121	2	0	4	22683	125	3	0	4	19734	109	2	0	4
			4	21502	119	2	0	4	22167	122	2	0	4	19285	106	2	0	4
			4W	20810	112	2	0	4	21627	116	2	0	4	18664	100	2	0	4
			5QM	22005	121	4	0	2	22686	125	4	0	2	19736	109	4	0	2
			5QN	22979	127	4	0	1	23689	131	4	0	1	20610	114	4	0	0
			5R	22197	122	4	0	4	22884	126	4	0	4	19909	110	4	0	4
			5W	21035	116	5	0	3	21686	120	5	0	3	18867	104	4	0	3
			TC	19906	110	2	1	2	20522	113	2	1	2	17854	98	2	1	2
80	875 mA	235W	1A	27849	121	2	0	2	28711	125	2	0	2	24978	108	2	0	2
			2	26334	114	3	0	3	27148	118	3	0	4	23619	102	3	0	3
			3	26378	114	3	0	4	27194	118	3	0	4	23659	103	3	0	4
			4	25777	112	2	0	4	26575	115	2	0	5	23120	100	2	0	4
			4W	25109	106	2	0	5	25886	109	2	0	5	22521	95	2	0	5
			5QM	26381	114	4	0	2	27196	118	4	0	2	23661	103	4	0	2
			5QN	27548	119	5	0	1	28400	123	5	0	1	24708	107	5	0	1
			5R	26611	115	5	0	5	27434	119	5	0	5	23868	104	4	0	4
			5W	25218	109	5	0	3	25998	113	5	0	3	22619	98	5	0	3
			TC	23864	103	2	1	2	24602	107	2	1	2	21404	93	2	1	2
96	700 mA	220W	1A	27876	128	2	0	2	28738	132	2	0	2	25002	115	2	0	2
			2	26359	121	3	0	3	27174	125	3	0	4	23641	109	3	0	3
			3	26403	121	3	0	4	27220	125	3	0	4	23681	109	3	0	4
			4	25802	119	2	0	4	26600	122	2	0	5	23142	106	2	0	4
			4W	24651	113	3	0	5	25413	117	3	0	5	22109	102	2	0	4
			5QM	26406	121	4	0	2	27222	125	4	0	2	23684	109	4	0	2
			5QN	27575	127	5	0	1	28427	131	5	0	1	24732	114	5	0	1
			5R	26637	122	5	0	5	27460	126	5	0	5	23891	110	4	0	4
			5W	25242	116	5	0	3	26023	120	5	0	3	22640	104	5	0	3
			TC	23887	110	2	1	2	24626	113	2	1	2	21424	98	2	1	2
96	875 mA	280W	1A	33419	121	3	0	2	34453	125	3	0	2	29974	108	2	0	2
			2	31600	114	3	0	4	32577	118	3	0	4	28342	102	3	0	4
			3	31654	114	3	0	5	32633	118	3	0	5	28390	103	3	0	4
			4	30933	112	2	0	5	31889	115	2	0	5	27744	100	2	0	5
			4W	30131	106	3	0	5	31063	109	3	0	5	27025	95	3	0	5
			5QM	31657	114	5	0	3	32636	118	5	0	3	28393	103	4	0	2
			5QN	33058	119	5	0	1	34080	123	5	0	1	29650	101	5	0	1
			5R	31933	115	5	0	5	32921	119	5	0	5	28641	104	5	0	5
			5W	30262	109	5	0	4	31198	113	5	0	4	27142	98	5	0	3
			TC	28642	104	2	1	3	29528	107	2	1	3	25690	93	2	1	3
96	1000mA	315W ²	1A	35666	113	3	0	2	36769	117	3	0	2	31989	101	2	0	2
			2	33725	107	3	0	4	34768	110	3	0	4	30248	96	3	0	4
			3	33782	107	3	0	5	34827	110	3	0	5	30299	96	3	0	4
			4	33012	105	2	0	5	34033	108	2	0	5	29609	94	2	0	5
			4W	32158	106	3	0	5	33153	109	3	0	5	28842	95	3	0	5
			5QM	33785	107	5	0	3	34830	110	5	0	3	30302	96	5	0	2
			5QN	35280	112	5	0	1	36371	115	5	0	1	31643	100	5	0	1
			5R	34080	108	5	0	5	35134	111	5	0	5	30567	97	5	0	5
			5W	32302	102	5	0	4	33301	106	5	0	4	28972	92	5	0	4
			TC	30568	97	2	1	3	31513	100	3	1	3	27416	87	2	1	3
96	1225mA	395W ²	1A	39569	101	3	0	4	43125	110	3	0	3	37518	96	3	0	2
			2	39569	101	3	0	4	40793	104	3	0	4	35490	91	3	0	4
			3	39619	101	3	0	5	40845	104	3	0	5	35535	91	3	0	5
			4	38723	98	3	0	5	39921	101	3	0	5	34731	88	2	0	5
			4W	37720	106	3	0	5	38887	109	3	0	5	33831	95	3	0	5
			5QM	39623	101	5	0	3	40848	104	5	0	3	35538	90	5	0	3
			5QN	41394	105	5	0	1	42675	109	5	0	1	37127	95	5	0	1
			5R	39969	102	5	0	5	41205	105	5	0	5	35848	91	5	0	5
			5W	37877	97	5	0	4	39048	100	5	0	4	33986	87	5	0	4
			TC	35850	90	3	1	3	36959	93	3	1	3	32154	81	3	1	3

¹ Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.
² 315W and 395W 3000K versions are not DLC QPL listed. Reference highlighted cells in table.

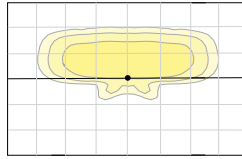


PHOTOMETRICS

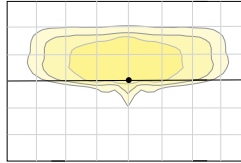
Type FR - Front Row/Auto Optic



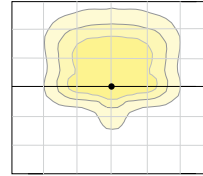
Type 2



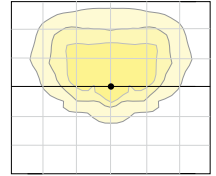
Type 3



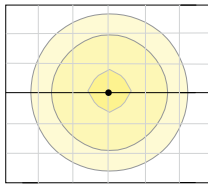
Type 4



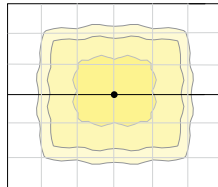
Type 4W



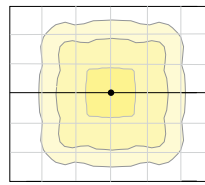
Type 5W



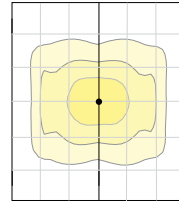
Type 5QN



Type 5QM



Type 5R



ELECTRICAL DATA

# OF LEDS	NUMBER OF DRIVERS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	SYSTEM POWER (w)	CURRENT (Amps)
64	1	625 mA	120	135	1.4
			277		0.6
			347		0.5
			480		0.3
80	2	700 mA	120	180	1.8
			277		0.8
			347		0.6
			480		0.5
80	2	875 mA	120	235	2.4
			277		1.0
			347		0.8
			480		0.6
96	2	700 mA	120	220	2.2
			277		1.0
			347		0.8
			480		0.6
96	2	875 mA	120	280	2.8
			277		1.2
			347		1.0
			480		0.7
96	2	1000 mA	120	315	3.2
			277		1.4
			347		1.1
			480		0.8
96	2	1225 mA	120	395	4.0
			277		1.7
			347		1.4
			480		1.0

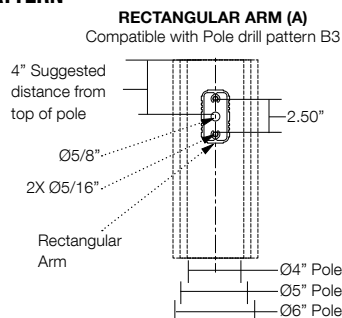
PROJECTED LUMEN MAINTENANCE

AMBIENT TEMP.	0	25,000	50,000	TM-21-11 60,000	100,000	Calculated L70 (HOURS)
25°C / 77°C	1	0.98	0.97	0.97	0.96	>377,000

¹ Projected per IESNA TM-21-11

Data references the extrapolated performance projections for the 700mA base model in a 25°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

DRILL PATTERN



EPA

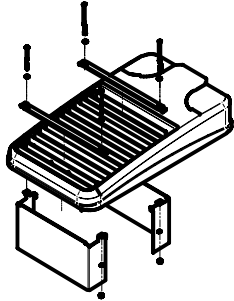
Config.	EPA	Config.	EPA
1	1.2	3 @ 120°	3.0
2 @ 90°	1.9	3 @ 90°	3.1
2 @ 180°	2.4	4 @ 90°	3.8

TENON TOP POLE BRACKET ACCESSORIES (Order Separately)

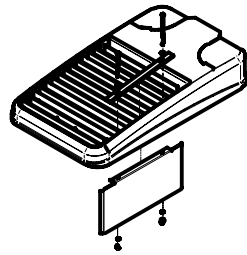
(2 3/8" OD tenon)

Catalog Number	Description
SETAVP-XX	Square tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
RETAVP-XX	Round tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
TETAVP-XX	Hexagonal tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
SETA2XX	Square tenon adapter (4 at 90°) for AD - Universal Arm mounting option only
RETA2XX	Round tenon adapter (4 at 90°) for AD3 - Universal Arm mounting option only
TETA2XX	Hexagonal tenon adapter (3 at 120°) for AD - Universal Arm mounting option only

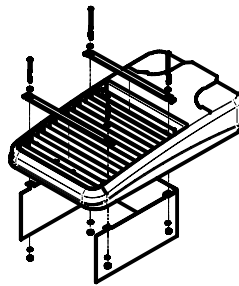
HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES



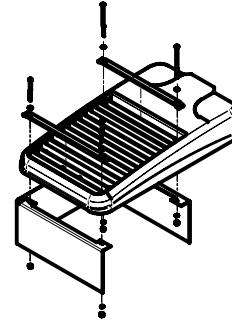
HSS/EVP-L/90-FB/XXX
90° shield front or back
(2 shields shown)



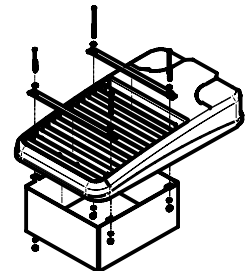
HSS/EVP-L/90-LR/XXX
90° shield left or right
(1 shield shown in left orientation)



HSS/EVP-L/270-FB/XXX
270° shield front or back
(1 shield shown in back orientation)

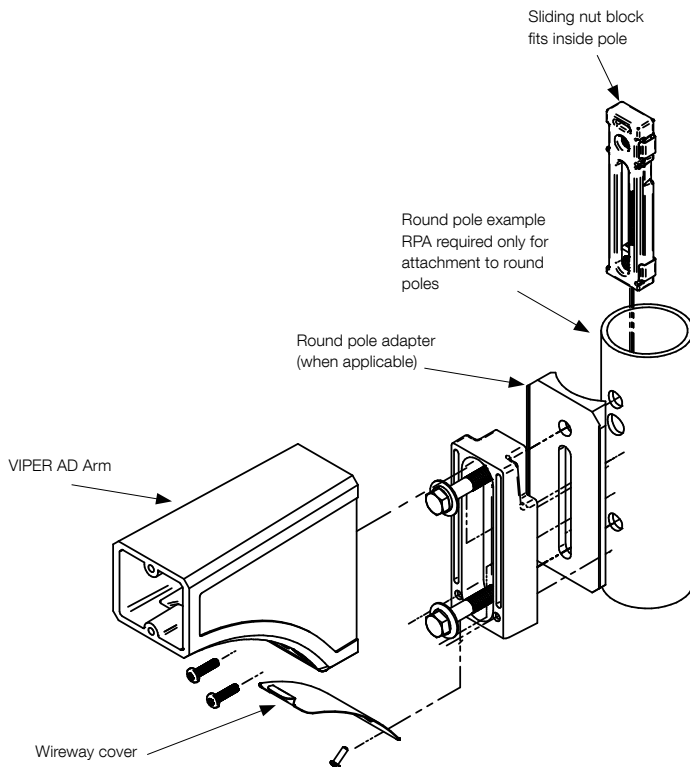


HSS/EVP-L/270-LR/XXX
270° shield left or right
(1 shield shown in right orientation)



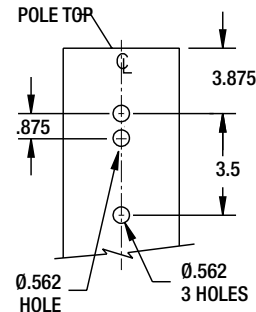
HSS/EVP-L/360/XXX
Full shield
(1 shield shown)

AD ARM MOUNTING INSTRUCTIONS



DECORATIVE ARM (AD)

Compatible with pole drill pattern S2



LITEPAK SERIES LNC2

Cat.# LNC-18LU-4K-4

Job
HAMPTON INN
HUNTLEY, IL

Type



HUBBELL
Outdoor Lighting

Approvals

SPECIFICATIONS

Intended Use:

The compact LED LNC2 is designed for perimeter illumination for safety, security and identity. This compact fixture has no uplight and is neighbor friendly with typical mounting heights up to 15ft. Units are supplied with an acrylic diffuser accessory that can be used for lower LED brightness near building entrances or other pedestrian areas. Units have protective polyester finish for long lasting appearance.

Construction:

Decorative die-cast aluminum housing protects components and provides an architectural appearance. Casting thermally conducts LED heat to optimize performance and long life. Powder paint finish provides durability in outdoor environments.

Electrical:

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option in 12L configuration
- Electronic drivers: One in 5L, 7L, 9L and 12L units
Two drivers in 18L units
- Minimum operating temperature is -40°C/-40°F
- Driver RoHS and IP66
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion

LED(s) CCT:

- 3000K CCT nominal – 80 CRI, 4000K CCT nominal – 70 CRI, 5000K CCT nominal – 70 CRI
- 5, 7, 9, 12 and 18 LED configurations available see page 2 for electrical and photometric details

Optical:

Type II, III and IV distributions with zero uplight; Individual PMMA acrylic lenses for wide lateral throw, maximum control and efficiency; Acrylic diffuser included where reduced LED brightness is desired

Lumen Maintenance:

L96 at 60,000hrs (Projected per IESNA TM-21-11), see table on page 2 for all values

Installation:

Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box). Gasket seal and secured by two Allen-head hidden fasteners for tamper resistance. Designed for direct j-box mount or conduit feed in single SKU. Conduit feed not available with BBU.

Options:

Controls:

- Button photocontrol for dusk to dawn energy savings
- Occupancy sensor options available for complete on/off and dimming control (includes factory installed back box)

Egress (includes factory installed back box):

- Battery back-up option - 12L configuration only
- Provides 1 fc minimum over 10' x 10' at 11' mounting height (exceeds NEC requirement)
- 1,546 initial lumens in battery mode
- Meets UL924 90 minute discharge schedule
- -20°C to 30°C operating temperature

Listings:

- DLC Qualified (Types III and IV) Consult DLC website for details:
<http://www.designlights.org/QPL>
- Listed to UL 1598 for use in wet locations, 40° C ambient environments

Warranty:

- Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)
- IES Progress Award Winner - 2013
 - Building Operating Management 2014 Top Products Award - LNC2-18LU

PRODUCT IMAGE(S)



LNC2-12LU



LNC2-18LU

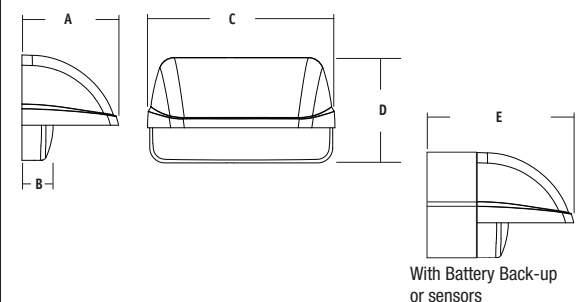


With diffuser



Battery Back-up or Sensor - See Page 2,3

DIMENSIONS



A	B	C	D	E	Weight / BBU
6.25"	1.6"	10.25"	5.6"	10.25"	7.0 / 15.0 lbs.
158.7 mm	40.2 mm	260.4 mm	142.2 mm	260.4 mm	3.2 / 6.8 kg

SHIPPING INFORMATION

Catalog Number	G.W.(kg)/CTN	Carton Dimensions			Carton Qty. per Master Pack
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)	
LNC2-12LU	14.3 (6.5)	14.5 (37)	11.4 (29)	8.4 (21.5)	2
LNC2-18LU	14.8 (6.7)	14.9 (38)	11.4 (29)	8.4 (21.5)	2

CERTIFICATIONS/LISTINGS



*3000K and warmer CCTs only

ORDERING INFORMATION – ORDERING EXAMPLE: LNC2-12LU-5K-3-1

SERIES	NUMBER OF LEDS	VOLTAGE ⁷	CCT	IES DISTRIBUTION	FINISH	OPTIONS
LNC2 LNC2	5L 5 LEDs 7L 7 LEDs 9L 9 LEDs 12L ³ 12 LEDs 18L 18 LEDs 12L5 12 LEDs, 480V 12LF 12 LEDs, 347V	U 120V-277V 1 120V 2 208V 3 240V 4 277V 5 480V (12L only) F 347V (12L only)	3K ² 3000K nominal 80 CRI 4K 4000K nominal 70 CRI 5K 5000K nominal 67 CRI AM Amber (590 µm available for "Turtle Friendly"/observatory applications, 350 mA (18L only versions)	2 ² Type II 3 Type III 4 Type IV	1 Bronze 2 Black 3 Gray 4 White 5 Platinum	PC Photocontrol BBU ^{1,6} Integral battery for 12L only (must specify 120V or 277V voltage in voltage category) rated for -20°C to 30°C SCP ^{4,5,6} Programmable motion sensor, factory default dimming is 10% light output

¹ Battery backup only available on 12L models, not available for Canada

² Does not qualify for DLC

³ Replace U with 1 for 120V or 4 for 277V for 12L with BBU

⁴ Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120V-277V only

⁵ PC option not applicable, included in sensor

⁶ BBU and motion sensor options cannot be combined

SPECIFY SCP HEIGHT

8F Up to 8ft mount height

20F Up to 20ft mount height



HUBBELL
Outdoor Lighting

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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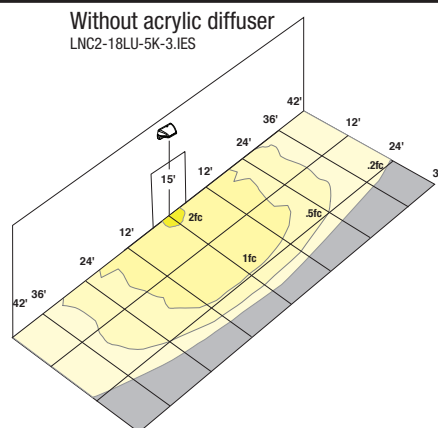
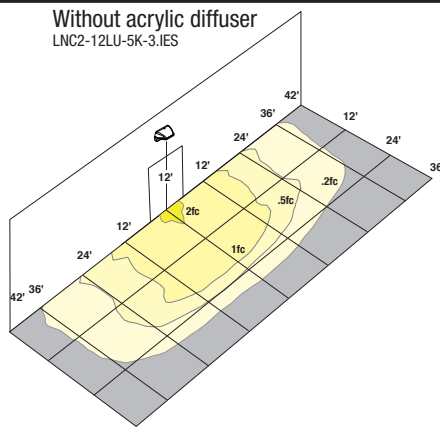
LAREDOLNC2-SPEC 3/17

REPLACEMENT PART/ACCESSORIES

CATALOG NUMBER	DESCRIPTION
93044013	Frosted comfort shield, improves uniformity with only 5% lumen reduction
SCP-REMOTE*	Remote control for SCP option. Order at least one per project to program and control fixtures
BB-GEO-XX	Back box with 4 - 1/2" threaded conduit holes, XX = specify finish, eg. Dark Bronze - DB
LNC2-SCBB-XX	Plate to be used with GEO-BB-XX surface conduit box, XX=finish (see page 3)

*Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120V or 277V only

PHOTOMETRICS



PERFORMANCE DATA

# OF LEDS	DRIVE CURRENT	SYSTEM WATTS	DIST. TYPE	5K (5000K nominal, 70 CRI)		4K (4000K nominal, 70 CRI)		3K (3000K nominal, 80 CRI)	
				LUMENS	LPW ¹	LUMENS	LPW ¹	LUMENS	LPW ¹
5	STD. (700mA)	13W	2	1,150	88.5	1,052	81	883	68
			3	1,132	87	1,077	83	833	64
			4	1,146	88	1,053	81	849	65
7	17W	2	1,515	89	1,369	80.5	1,272	75	
		3	1,500	88	1,539	90.5	1,392	82	
		4	1,557	91.5	1,535	90	1,425	84	
9	22W	2	2,069	94	2,033	92	1,588	72	
		3	2,024	92	1,989	90	1,623	74	
		4	2,095	95	2,059	93.5	1,680	76	
12	28w	2	2,869	102.5	2,465	88	2,047	73	
		3	2,868	102.5	2,662	95	2,160	77	
		4	2,716	97	2,715	97	2,104	75	
18	42.7w	2	4,166	97.5	3,631	85	3,304	77	
		3	4,106	96	3,806	89	3,128	73	
		4	3,995	93.5	3,998	93.5	3,122	73	

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application. LNC2-12L battery mode produces 1,546 initial lumens. Meets UL924 90 minute discharge pattern.

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	OPERATING HOURS					
	0	25,000	50,000	TM-21-11 ¹ L96 60,000	100,000	L70 (hours)
25°C / 77°F	1.00	0.98	0.97	0.96	0.95	>791,000
40°C / 104°F	0.99	0.98	0.96	0.96	0.94	>635,000

1. Projected per IESNA TM-21-11 * (Nichia 219B, 700mA, 85°C Ts, 10,000hrs)
Data references the extrapolated performance projections for the LNC-12LU-5K base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

AMBIENT TEMPERATURE	AMBIENT TEMPERATURE	LUMEN MULTIPLIER
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

ELECTRICAL DATA

# OF LEDS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	CURRENT (Amps)	SYSTEM POWER (w)
7	STD. (700mA)	120	-	18
		277	-	18
9	STD. (700mA)	120	0.183	22
		277	0.09	22.1
12	STD. (700mA)	120	0.24	28.9
		277	0.10	27.7
		347	0.10	33.7
		480	0.06	28.9
18	STD. (700mA)	120	0.35	41.0
		277	0.15	41.5
18 Amber	STD. (700mA)	120	2.68	32.0

MOTION SENSOR OPTION



Sensor offers greater control and energy savings with SCP programmable sensor with adjustable delay and dimming levels (Factory default is 10%)

Visit: <http://www.hubbellighting.com/solutions/controls/> for control application information

LNC2 – BATTERY BACK UP

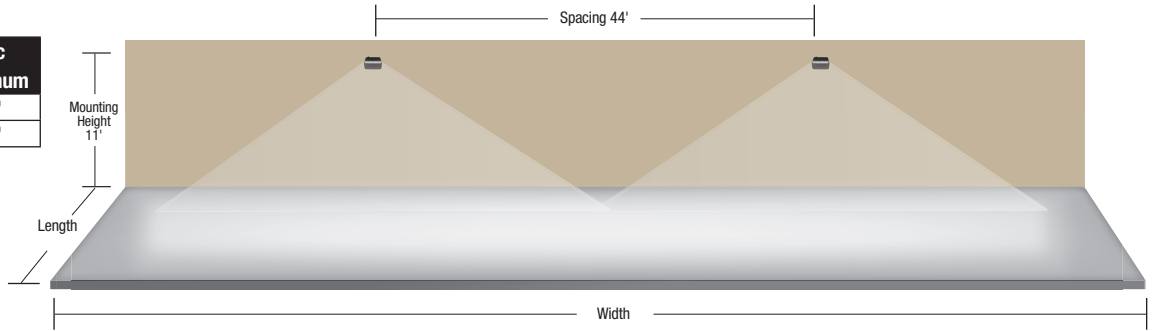


Side View

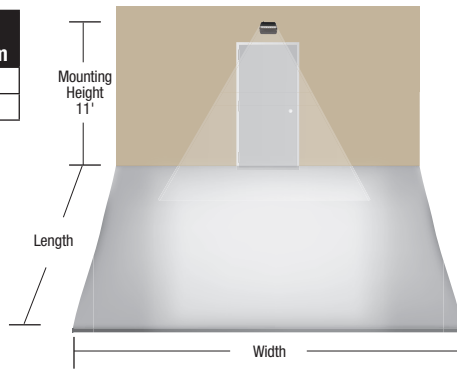


3/4 View

Multi Unit	1 fc Average	1 fc Minimum
Length	16'	15'
Width	112'	68'



Single Unit	1 fc Average	1 fc Minimum
Length	16'	15'
Width	48'	24'

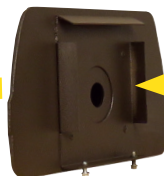


Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11'
Diagrams for illustration purposes only, please consult factory for application layout.

LNC2-SCBB-XX SURFACE CONDUIT BACK PLATE



LNC2 FIXTURE



LNC2-SCBB-XX



BB-GE0-XX



LNC2-SCBB-XX and BB-GE0-XX SHOWN ATTACHED TO FIXTURE



To Wall

LTR-6RD

LITEISTRY 6" ROUND DOWNLIGHT

LITEISTRY™

FEATURES

- 6" architectural LED downlight delivering 600 – 9000 lm
- Four beam distributions from 0.3 to 1.1 Spacing Criteria
- Quiet reflector appearance with superior 50° optical cutoff
- 2700K – 5000K, 80+ and 90+ CRI options
- Available for New Construction (non-IC), Retrofit (non-IC), IC and Chicago Plenum applications
- Variety of dimming protocol options including 0–10V, DALI, DMX, Lutron Forward Phase, and EcoSystem
- NX Distributed Intelligence™ wired and wireless controls capability available



RELATED PRODUCTS

- [Ø 3" LITEISTRY Family](#)
 [Ø 4" LITEISTRY Family](#)
 [Ø 6" LITEISTRY Family](#)

CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Standard Non-IC. Chicago Plenum, IC and Retrofit options
- New Construction: Painted black durable steel platform with pre-installed bar hangers
- Retrofit: Die cast aluminum mounting ring with 5-axis adjustable junction box
- Retrofit housing allows below ceiling installation without removing existing fixture
- Pre-wired junction box with snap-on covers for easy access
- Snap-in connection from driver compartment allows easy installation
- Light Engine connections use plenum rated (CMP) cable

OPTICS

- Visually pleasing 50° cutoff to source and source image
- The light distribution is free of distracting bright spots or pixelation and the perimeter has a smooth transition
- Optical grade silicone lens integral to light engine
- High purity spun aluminum reflector, self-flanged
- Flush Mount flange option with mud-in ring available
- Large selection of anodized finishes and colors
- Painted cones and flange options available

ELECTRICAL

- Chip-on-board LED with 2 SDCM
- Multiple CCTs, 80+ or 90+ CRI
- Long LED life: L90 at >55,000 hours (TM-21)
- Universal voltage 120V–277V driver, 347V optional
- UL Class 2, inherent short circuit and overload protection, RoHS compliant
- Flicker free 0-10V dimming with 1% or <1% performance
- DALI, DMX, and Lutron Forward Phase and EcoSystem options
- NX or Lutron Vive control options available
- Integral and remote controller and battery pack options available
- Refer to additional spec sheets for information on SpectraSync™ Tunable White or Dim-to-Warm or [PowerHUBB™ PoE enabled](#) solutions

INSTALLATION

- Accommodates ceiling thickness up to 2" (SL, ML, HL); up to 1.25" (VL, XL)
- Universal adjustable mounting brackets also accept 0.5" EMT conduit or 1.5" or 0.75" lathing channel (by others) or Prescolite accessory bar hangers (B24 or B6).
- Light Engine/Driver fully serviceable from above or below the ceiling

CERTIFICATIONS

- cCSAus certified to UL 1598
- For ≥70L: Marked spacing required 36" fixture center to center; 36" fixture center to building member; 0.5" above fixture
- Suitable for wet locations, covered ceiling
- EM/EMR: Certified under UL 924 standard for emergency lighting and power equipment
- Approved for 8 (4 in/4 out) No. 12AWG conductors rated for 90°C through wiring
- ENERGY STAR® certified models available (See list and additional information on page 8)

WARRANTY

- 5 year warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	600-9000
Wattage Range	8-99
Efficacy Range (LPW)	94-104*
Reported Life (Hours)	L90 / >55,000
Input Current (mA)	65-825 (120V)

*Based on Specular, 35K, 80 CRI



LTR-6RD

LITEISTRY 6" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

ORDERING GUIDE

Example: LTR-6RD-H-SL10L-DM1-LTR-6RD-T-SL35K8MDS

CATALOG #

HOUSING

LTR-6RD-H		Lumen Package		Lumen Output		Driver Options ³		Control Options		Voltage		Housing Options ¹¹									
Aperture/Shape/Function																					
LTR-6RD-H	6" Round Downlight New Construction Housing	SL	Standard Lumen	06L	600	DM1	0-10V Dimming to 1%	NXE	NX Enabled, Dual SmartPorts ⁴	Standard	120-277V	CP	Chicago Plenum ⁹								
				10L	1000									DMO1	0-10V Dimming to < 1%	NXWE	NX Wireless Enabled ⁴	34	347V ⁸	IC	IC rated ¹⁰
				15L	1500																
LTR-6RD-RFH	6" Round Downlight Retrofit Housing ¹⁷	ML	Medium Lumen	20L	2000	DMX	DMX with RDM dimming to < 0.1% ³	NXWD	NX Wireless Enabled, Dual SmartPorts ⁴			EM	Emergency Battery Pack with integral test switch and indicator light								
				25L	2500									DALI	DALI Dimming to 1%	LV	Lutron Vive Enabled, 0-10V (requires 0-10V driver)	EMR	Emergency Battery Pack with remote test switch and indicator light		
				30L	3000																
LTR-6RD-RFHW	6" Round Downlight Retrofit Housing (for Wide Diameter) ¹⁷	HL	High Lumen	35L	3500	2DM	Lutron Hi-Lume 2-wire Dimming to 1% (120V Forward Phase only) ³	LVE	Lutron Vive Enabled, EcoSystem, (requires EDM)			DTS	Device Transfer Switch								
				40L	4000									EDM	Lutron Hi-Lume EcoSystem Dimming to 1% ³	GTD	Generator Transfer Device				
				45L	4500																
		VL	Very High Lumen	50L	5000							F	Fuse								
				55L	5500																
				60L	6000																
		XL	Extra high Lumen ¹⁵	70L	7000																
				80L	8000																
				90L	9000																

TRIM

LTR-6RD-T		Lumen Package		CCT		CRI		Distribution	
Aperture/Shape/Function									
LTR-6RD-T	6" Round Downlight Light Engine/Trim Assembly	SL	Standard Lumen	27K	2700K	8	80+CRI	NR	Narrow (0.3 SC)
		ML	Medium Lumen	30K	3000K	9	90+CRI	MD	Medium (0.6 SC)
		HL	High Lumen	35K	3500K			WD	Wide (0.9 SC)
		VL	Very High Lumen	40K	4000K			XW	Extra Wide (1.1 SC)
		XL	Extra High Lumen ¹⁵	50K	5000K ²				

TRIM CONTINUED

Reflector Finish		Reflector Color		Flange Color Options		Lower Trim Options		Reflector Options	
<i>Finish not applicable with painted reflectors (WC or BC)</i>		Standard Clear		Standard matches reflector color		EM Pre-punched reflector for EM integral test switch and indicator		AM Antimicrobial Coating ⁶	
S	Specular	CG	Champagne Gold	WT	White Flange ⁵	FM Flush Mount Mud-in Ring ¹²			
SS	Semi-Specular	BL	Black	BT	Black Flange ⁵	WF Wide Flange			
MFC	American Matte™	LW	Light Wheat						
VS	Softglow®	PW	Pewter						
VSS	SoftSheen™	WC	Painted White Cone and Flange						
		BC	Painted Black Cone and Flange						

Notes:

- 1 RFH and RFHW available up to 30L; not available with Controls or Housing options.
- 2 5000K available in 80+ CRI only.
- 3 2DM, EDM, DMX available in 10L-35L. DMO1, DALI not available on >55L.
- 4 NX requires DM1 driver option, not available on >60L.
- 5 WT not needed for WC, BT not needed for BC.
- 6 Clear reflector or WC only, consult factory for other colors.
- 7 See line art for compatibility with existing aperture diameters.
- 8 347V requires DM1 driver option; available 10L - 60L not available with Controls, F, GTD, DTS, EM, EMR.
- 9 CP available up to 20L; not available with DMX, Controls, or EMR options.
- 10 IC available up to 20L; not available with Controls options.
- 11 Housing options (except Fuse) not available in combination.
- 12 Flush Mount Flange (FM) requires FMR accessory (sold separately).
- 13 DM1 on >60L is 0-10V to 5% dimming.
- 14 Not for use with Retrofit housings (RFH/RFHW)
- 15 XL (70L-90L) require marked spacing. See line art for more details.

Accessories

- B24** Set of two (2) 24" bar hangers for T-bar ceilings¹⁴
- B6** Set of two bar hangers for ceiling joist up to 24" centers¹⁴
- FMR6-R** Flush Mount Mud-In Ring, 6" Round
- LiteGear** LiteGear® Inverter, 125VA-250VA
- LPS Series** LightPower Micro-Inverter, 20VA-55VA

LTR-6RD

LITEISTRY 6" ROUND DOWNLIGHT

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

CONTROLS

NX Distributed Intelligence™ Lighting Controls:

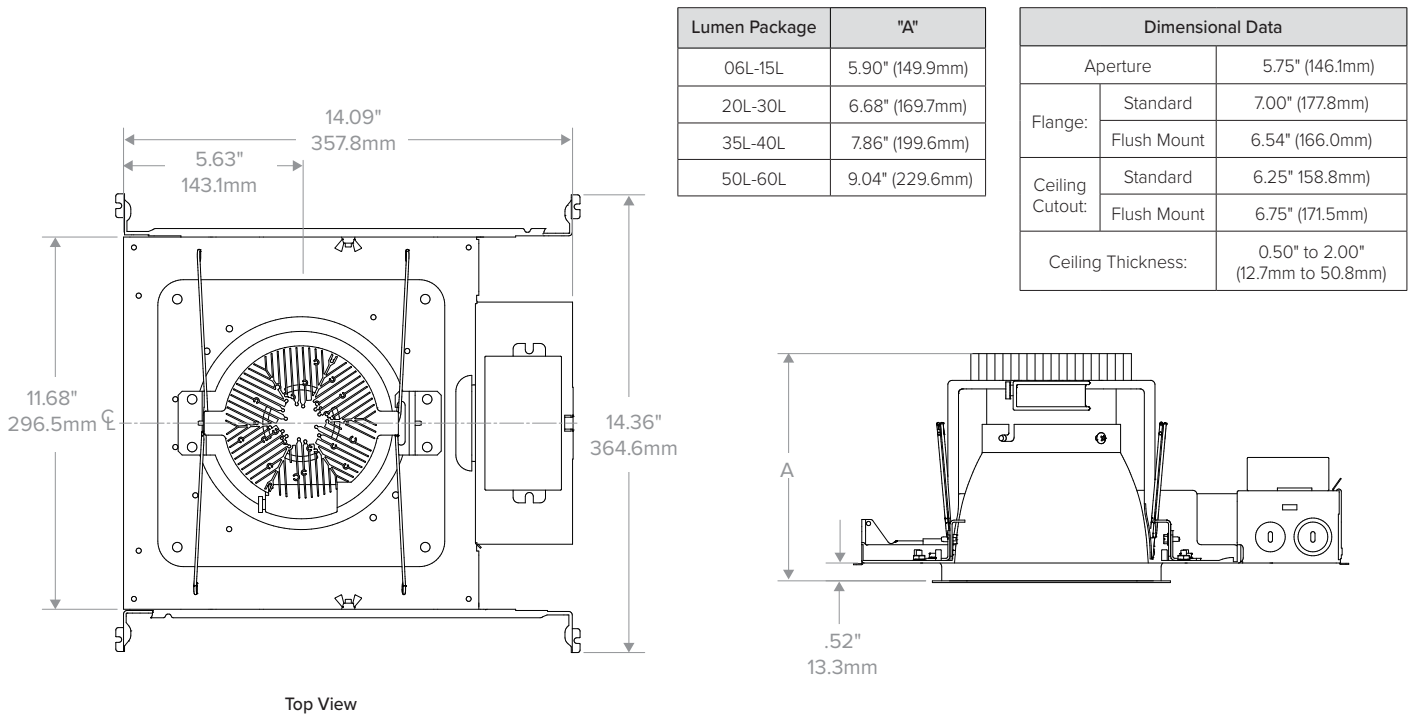
Supports applications in a variety of deployment options- wired, wireless, hybrid. Integrates with and enables a wide array of luminaires including those with SpectraSync™ Color Tuning Technology.



NX INTEGRATED CONTROLS REFERENCE								
NX Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth® App Programming
NX Networked – Wired								
NXE	N/A	Yes	Yes	No	No	Yes	Yes	Requires NXBTC/R ¹
NX Networked – Wireless								
NXWE ²	N/A	Yes	Yes	No	No	Yes	Yes	No ³
NX Networked – Wired/Wireless								
NXWD	N/A	Yes	Yes	No	No	Yes	Yes	Requires NXBTC/R ^{1,3}

- 1 NXBTC/R needs to be plugged into an available NX SmartPort™ on the fixture network
- 2 Programming via App requires factory assistance
- 3 To program NXWE option, need to consult factory. If connected to an area controller, programming can be done from that

DIMENSIONS



LTR-6RD-H (06L - 60L) New Construction

LTR-6RD

LITEISTRY 6" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____

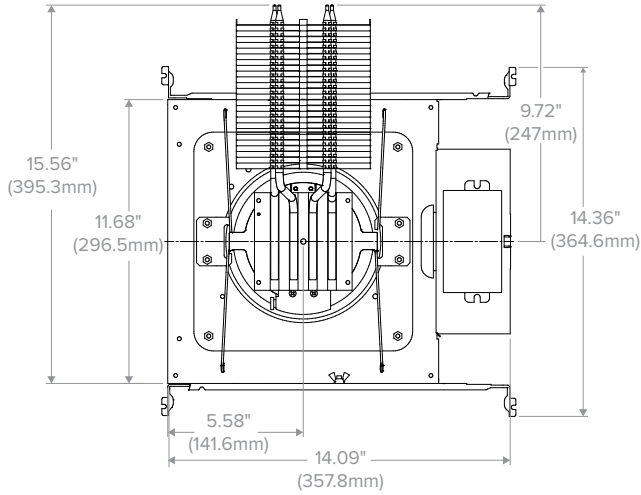
TYPE: _____ PROJECT: _____

CATALOG #: _____

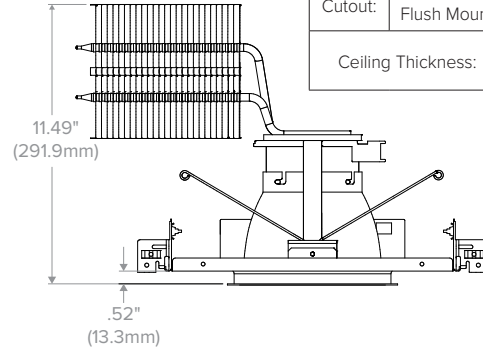
DIMENSIONS CONTINUED

Dimensional Data		
Aperture		5.75" (146.1mm)
Flange:	Standard	7.00" (177.8mm)
	Flush Mount	6.54" (166.0mm)
Ceiling Cutout:	Standard	6.25" 158.8mm)
	Flush Mount	6.75" (171.5mm)
Ceiling Thickness:		0.50" to 1.25" (12.7mm to 31.8mm)

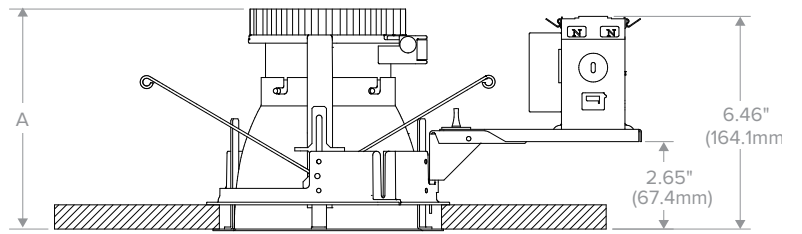
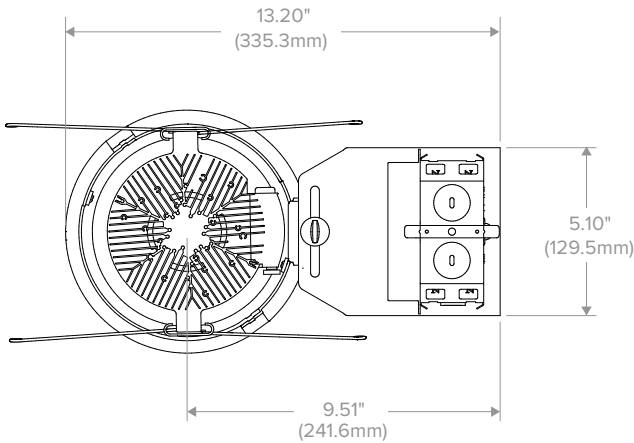
Marked spacing required:
36" fixture center to center;
36" center to building member;
0.50" above fixture



Top View



LTR-6RD-H (70L - 90L) New Construction



Housing Compatibility Guide			
Existing Frame Opening**		Use Housing	Use Flange Option
MIN	MAX		
6.25" (156.3mm)	6.50" (165.1mm)	-RFH	(Standard)
6.63" (168.4mm)	6.88" (172mm)	-RFHW	WF

**Measure the existing plaster frame opening at its narrowest point

Dimensional Data		
Aperture		5.75" (146.1mm)
Flange:	Standard	7.00" (177.8mm)
	Flush Mount	6.54" (166.0mm)
	Wide (WF)	7.75" (196.9mm)
Ceiling Cutout:	Standard	6.25" 158.8mm)
	Flush Mount	6.75" (171.5mm)
Ceiling Thickness:		0.50" to 2.00" (12.7mm to 50.8mm)

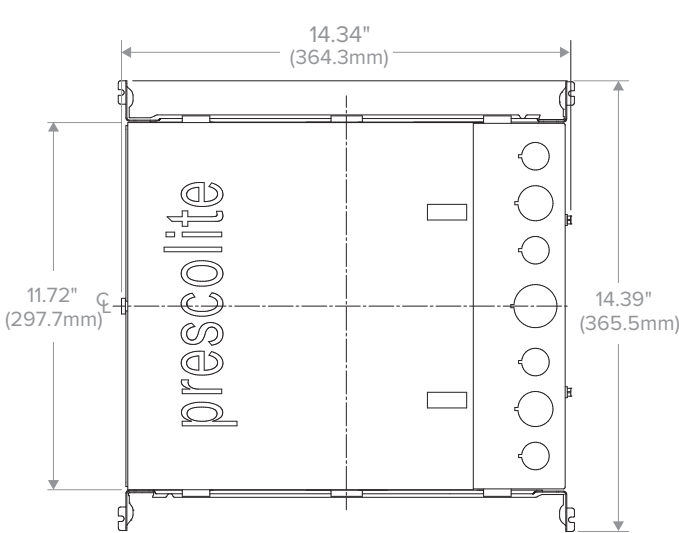
Lumen Package	"A"
06L-15L	5.90" (149.9mm)
20L-30L	6.68" (169.7mm)

LTR-6RD-RFH/-RFHW

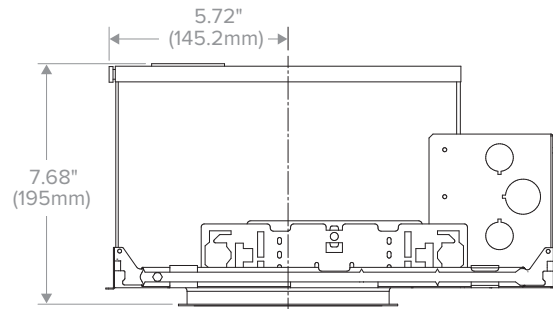
LTR-6RD

LITEISTRY 6" ROUND DOWNLIGHT

DIMENSIONS CONTINUED



LTR-6RD-IC



Dimensional Data		
Aperture		5.75" (146.1mm)
Flange:	Standard	7.00" (177.8mm)
	Flush Mount	6.54" (166.0mm)
Ceiling Cutout:	Standard	6.25" 158.8mm)
	Flush Mount	6.75" (171.5mm)
Ceiling Thickness:		0.50" to 2.00" (12.7mm to 50.8mm)

PHOTOMETRY

LTR-6RD-H-ML20L-DM1 / LTR-6RD-T-ML35K8NRS

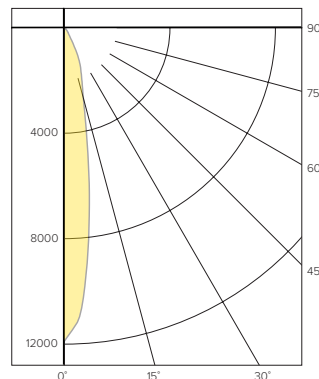
LUMINAIRE DATA

Test No.	19.00588
Description	2000 lm, Narrow, 3500K, 80 CRI
Delivered Lumens	2355
Watts	22.6W
Efficacy	104.0
Mounting	Recessed
Spacing Criterion	0.3
Beam Angle (FWHM)	18

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2290	97.2
0-60	2355	100.0
0-90	2355	100.0
0-180	2355	100.0

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	11881
5	9399
15	2776
25	1236
35	255
45	74
55	0
65	0
75	0
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	6247
55°	0
65°	0
75°	0
85°	0

*Candela/Square Meter

LTR-6RD-H-ML20L-DM1 / LTR-6RD-T-ML35K8MDS

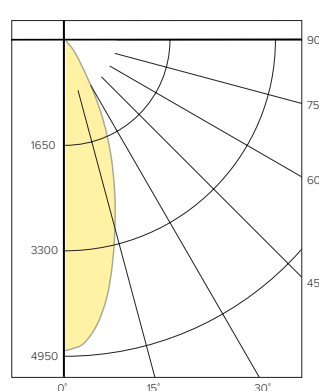
LUMINAIRE DATA

Test No.	19.00587
Description	2000 lm, Medium, 3500K, 80 CRI
Delivered Lumens	2265
Watts	22.6W
Efficacy	100.0
Mounting	Recessed
Spacing Criterion	0.6
Beam Angle (FWHM)	37

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2171	95.9
0-60	2262	99.9
0-90	2265	100.0
0-180	2265	100.0

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	4851
5	4619
15	3007
25	1450
35	386
45	99
55	6
65	2
75	1
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	8357
55°	624
65°	282
75°	231
85°	0

*Candela/Square Meter

LTR-6RD

LITEISTRY 6" ROUND DOWNLIGHT

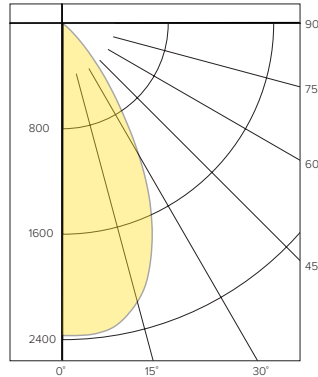
PHOTOMETRY CONTINUED

LTR-6RD-H-ML20L-DM1 / LTR-6RD-T-ML35K8WDS

LUMINAIRE DATA

Test No.	19.00585
Description	2000 lm, Wide, 3500K, 80 CRI
Delivered Lumens	2180
Watts	22.6W
Efficacy	96.1
Mounting	Recessed
Spacing Criterion	0.9
Beam Angle (FWHM)	59

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	2368
5	2371
15	2189
25	1591
35	726
45	177
55	10
65	3
75	1
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	14942
55°	1041
65°	424
75°	231
85°	0

*Candela/Square Meter

ZONAL LUMEN SUMMARY

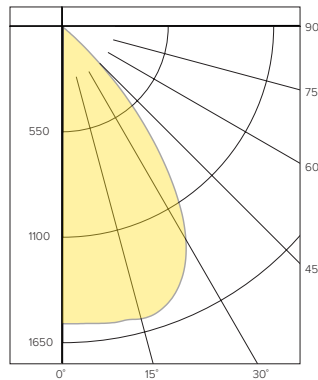
Zone	Lumens	% Luminaire
0-40	2014	92.4
0-60	2176	99.8
0-90	2180	100.0
0-180	2180	100.0

LTR-6RD-H-ML20L-DM1 / LTR-6RD-T-ML35K8XWS

LUMINAIRE DATA

Test No.	19.00586
Description	2000 lm, Extra Wide, 3500K, 80 CRI
Delivered Lumens	2139
Watts	22.7W
Efficacy	94.4
Mounting	Recessed
Spacing Criterion	1.1
Beam Angle (FWHM)	76

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	1547
5	1552
15	1576
25	1461
35	1007
45	301
55	9
65	3
75	1
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	25409
55°	937
65°	424
75°	231
85°	0

*Candela/Square Meter

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1875	87.7
0-60	2134	99.8
0-90	2139	100.0
0-180	2139	100.0

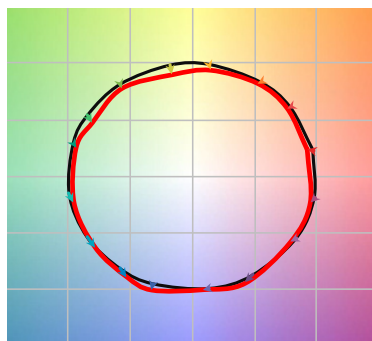
LUMEN MULTIPLIER

Option	27K8	30K8	35K8	40K8	50K8	27K9	30K9	35K9	40K9
Multiplier	0.94	0.98	1.00	1.01	1.02	0.81	0.84	0.85	0.85

Photometrics are published below at a nominal 3500 Kelvin, 80+ CRI. This table may be used to approximate the lumen values at different Kelvin temperatures. Power consumption would stay the same.

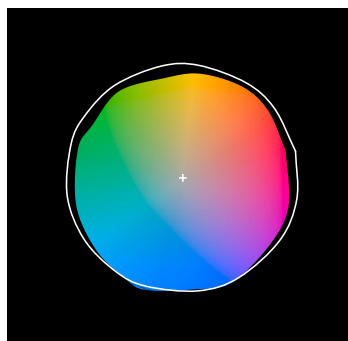
TM-30 DATA

COLOR VECTOR GRAPHIC 3500K, 90 CRI



— Reference Illuminant — Test Source

COLOR DISTORTION GRAPHIC 3500K, 90 CRI



TEST RESULTS - 3500K		
Value	80+ CRI	90+ CRI
R _f	84	88
R _g	95	95
CCT (K)	3411	3419
D _{uv}	0.0015	0.0042
x	0.4120	0.4147
y	0.3974	0.4052
CIE R _a	84	93
CIE R _g	11	62

LTR-6RD

LITEISTRY 6" ROUND DOWNLIGHT

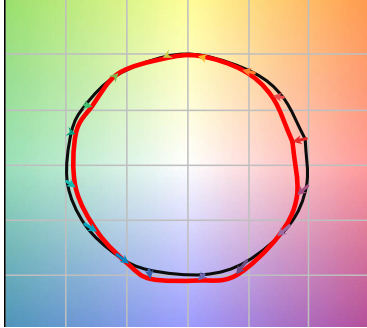
DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

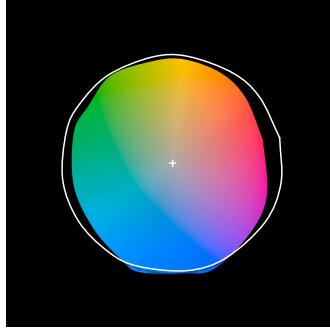
TM-30 DATA CONTINUED

COLOR VECTOR GRAPHIC
3500K, 80 CRI



— Reference Illuminant — Test Source

COLOR DISTORTION GRAPHIC
3500K, 80 CRI



ELECTRICAL DATA

DRIVER DATA		
Input Voltage	120-277 V	347 V
Input Frequency	50/60 Hz	50/60 Hz
Power Factor	≥0.90	≥0.90
THD	<20%	<20%
EMI Filtering (FCC 47 CFR Part 15)	Class A	Class A

* Values for DMI option shown, values for other dimming options may vary.

WATTAGE DATA		
Lumen Output	Nominal Lumens	WATTAGE
06L	600	8
10L	1000	12
15L	1500	19
20L	2000	23
25L	2500	28
30L	3000	35
35L	3500	43
40L	4000	52
45L	4500	55
50L	5000	49
55L	5500	54
60L	6000	61
70L	7000	72
80L	8000	85
90L	9000	99

* Wattage may vary based on configuration and options selected

ADDITIONAL INFORMATION

DIMMING COMPATIBILITY CHART		
Dimming Driver	Manufacturer	Web Link
DM1 /DM01	Lutron DDTV	http://bit.ly/1ljSvZg
DM1	Leviton AWRMG-7xx, AWSMG-7xx, AWSMT-7xx	http://bit.ly/1BJn2R9
EDM	Lutron	http://bit.ly/1vtjHAJ
2DM	Lutron	http://bit.ly/1S4WjXK

DMX

See instruction sheet on www.prescolite.com for connection & installation information.

Central Inverters

For full fixture output in back-up mode, we recommend you visit www.dual-lite.com for your Central Lighting Inverter options. Please contact your local Hubbell representative for any assistance with proper sizing and loading of your inverter selection. Central lighting inverters must be ordered separately.

LiteGear: www.dual-lite.com/products/litegear_lg_series

LPS Series: www.dual-lite.com/products/lps

ENERGY STAR®

The following stock items are ENERGY STAR® certified models. (See www.energystar.gov for more details.)

ENERGY STAR® Certified Models
LTR-6RD-H-SL10L-DM1 + LTR-6RD-T-SL35K8WDSS
LTR-6RD-H-SL10L-DM1 + LTR-6RD-T-SL35K8WDSSWT
LTR-6RD-H-SL15L-DM1 + LTR-6RD-T-SL35K8WDSS
LTR-6RD-H-SL15L-DM1 + LTR-6RD-T-SL35K8WDSSWT
LTR-6RD-H-ML20L-DM1 + LTR-6RD-T-ML35K8WDSS
LTR-6RD-H-ML20L-DM1 + LTR-6RD-T-ML35K8WDSSWT
LTR-6RD-H-ML30L-DM1 + LTR-6RD-T-ML35K8WDSS
LTR-6RD-H-ML30L-DM1 + LTR-6RD-T-ML35K8WDSSWT
LTR-6RD-H-HL40L-DM1 + LTR-6RD-T-HL35K8WDSS
LTR-6RD-H-HL40L-DM1 + LTR-6RD-T-HL35K8WDSSWT
LTR-6RD-H-VL60L-DM1 + LTR-6RD-T-VL35K8WDSS

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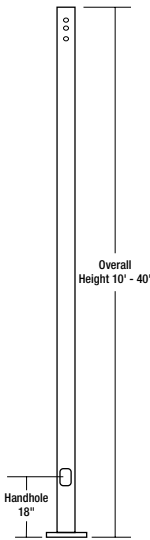
SSS-B SERIES POLES

SQUARE STRAIGHT STEEL

Cat.#	
Job	Type



Approvals



APPLICATIONS

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

- **SHAFT:** One-piece straight steel with square cross section, flat sides and minimum 0.238" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded flush to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- **BASE COVER:** Two-piece square aluminum base cover included standard
- **POLE CAP:** Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- **HAND HOLE:** Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- **ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

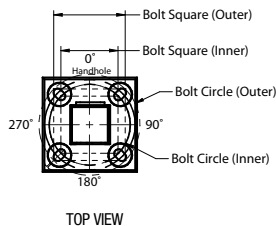
Anchor bolt part numbers: 3/4 x 30 x 3 — TAB-30-M38
1 x 36 x 4 — TAB-36-M38

FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in seven standard colors; Custom colors available; RAL number preferable; Internal protective coating available

WAREHOUSE 'STOCKED' POLES:

- SSSH20-40A-4-HV-DB-RDC, SSSH25-40A-4-HV-DB-RDC and SSSH30-50B-4-HV-DB-RDC
- The HV designation in the above catalog numbers is a combination drill pattern of the Hubbell Outdoor S2 pattern and the Beacon B3/B4 Viper pattern (rectangular arm mounting)



POLE CAP 	TENON 	BASE COVER 	BASE DETAIL
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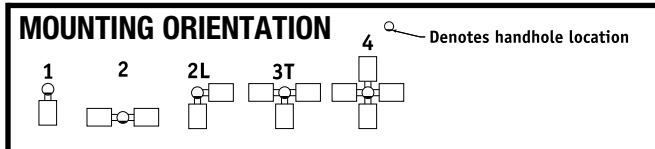
ORDERING INFORMATION

ORDERING EXAMPLE:

Reference page 2 for available configurations

SSS - B - 25 - 40 - A/B/C - 2L - B3 - BLT - UL

SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	FINISH	OPTIONS
SSS-B Square Straight Steel Pole Beacon	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" Tall) TB Tenon (2.88" OD x 4" Tall) TC Tenon (3.5" OD x 6" Tall) TR' Removable Tenon (2.375 x 4.25) OT Open Top (includes pole cap)	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color	HSC Internal Coating (Hubbell Seal) GFI² 20 Amp GFCI Receptacle and Cover EHH² Extra Handhole C05² .5" Coupling C07² .75" Coupling C20² 2" Coupling MPB² Mid-pole Luminaire Bracket VM2 2nd mode vibration damper LAB Less Anchor Bolts UL UL Certified



1 Removable tenon used in conjunction with side arm mounting. First specify desired arm configuration followed by the "TR" notation. Example: SSS-B-25-40-A-1-B1-TR-BBT
 2 Specify option location using logic found on page 2 (Option Orientation)
 3 VM1 recommended on poles 20' and taller with EPA of less than 1.

ACCESSORIES - Order Separately

Catalog Number	Description
VM1³	1st mode vibration damper
VM2SXX	2nd mode vibration damper

DRILL PATTERN

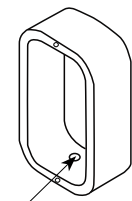
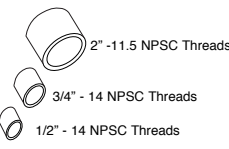
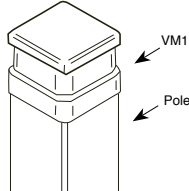
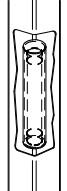

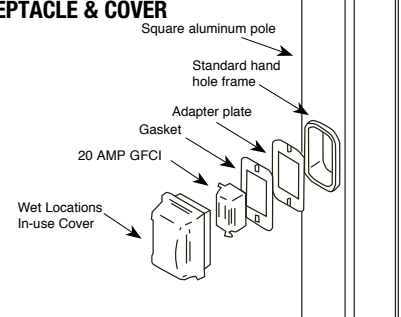
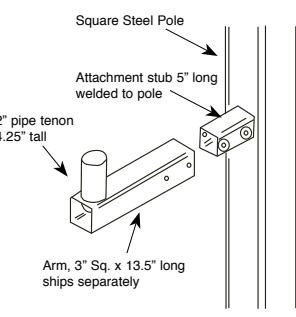
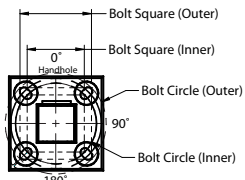
- B1** Cruiser, "AM" arm
- B3** 2 bolt (2-1/2" spacing), Viper "A" arm
- S2** 2 bolt (3-1/2" spacing), Viper "AD" arm



ORDERING INFORMATION Cont.

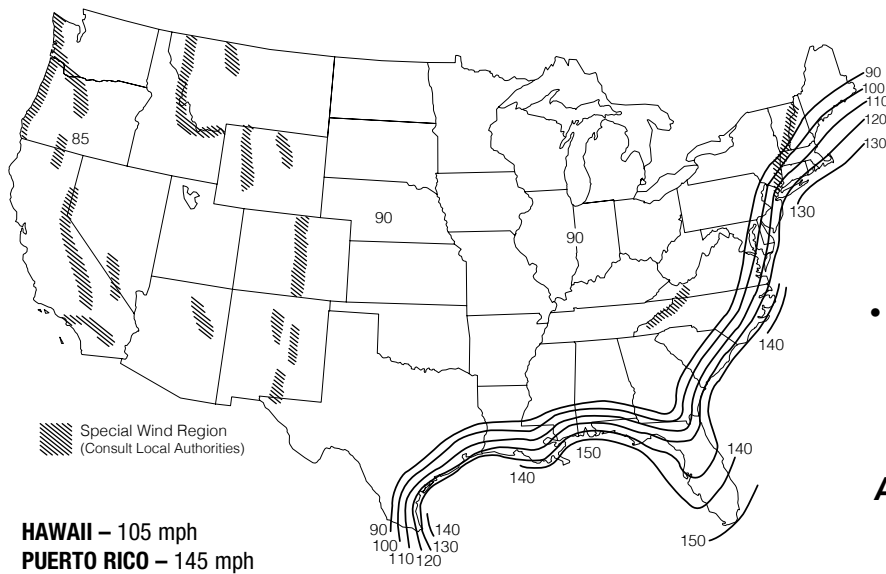
Catalog Number	Height		Nominal Shaft Dimensions	Wall Thickness	Bolt Circle (suggested)	Bolt Circle (range)	Bolt Square (range)	Base Plate Square	Anchor bolt size	Bolt Projection	Pole weight
	Feet	Meters									
SSS-B-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	77
SSS-B-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	90
SSS-B-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	103
SSS-B-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	116
SSS-B-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	129
SSS-B-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	142
SSS-B-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	175
SSS-B-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	152
SSS-B-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	171
SSS-B-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	190
SSS-B-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	209
SSS-B-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	257
SSS-B-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	304
SSS-B-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	219
SSS-B-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	243
SSS-B-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	267
SSS-B-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	327
SSS-B-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	387
SSS-B-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	427
SSS-B-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	507
SSS-B-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	329
SSS-B-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	404
SSS-B-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	479
SSS-B-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	554
SSS-B-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	629
SSS-B-30-60-C-XX-XX	30	9.1	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	614
SSS-B-35-60-C-XX-XX	35	10.7	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	712
SSS-B-40-60-C-XX-XX	40	12.2	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	809

NOTE Factory supplied template must be used when setting anchor bolts. Beacon Products will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

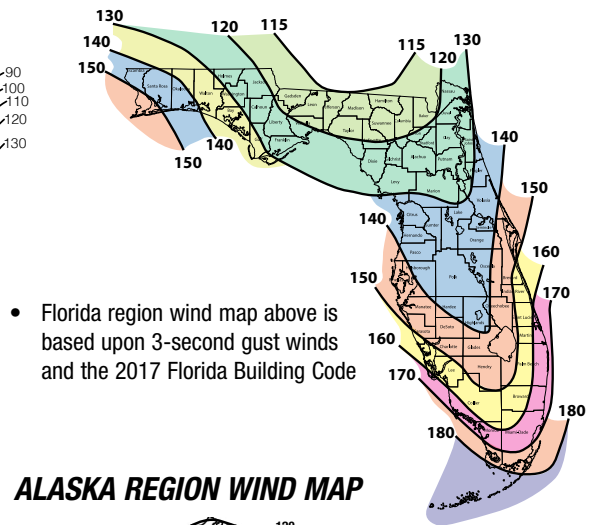
<p>EHH - EXTRA HANDHOLE</p>  <p>Provision for Grounding</p>	<p>C05 - C07 - C20 - COUPLING</p>  <p>2" - 11.5 NPSC Threads 3/4" - 14 NPSC Threads 1/2" - 14 NPSC Threads</p>	<p>VM1 - VIBRATION DAMPER 1ST MODE</p>  <p>Field Installed Pole Top damper designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 25' and taller with a total EPA of 1.0 or less.</p>	<p>VM2 - VIBRATION DAMPER 2ND MODE</p>  <p>Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>	<p>VM2SXX - VIBRATION DAMPER 2ND MODE</p>  <p>VM2S08 - 8' VM2S12 - 12' VM2S16 - 16' VM2S20 - 20' VM2S24 - 24'</p> <p>Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>
<p>GFI - 20 AMP GFCI RECEPTACLE & COVER</p>  <p>Square aluminum pole Standard hand hole frame Adapter plate Gasket 20 AMP GFCI Wet Locations In-use Cover</p>	<p>MPB - MID POLE BRACKET</p>  <p>Square Steel Pole Attachment stub 5" long welded to pole 2" pipe tenon 4.25" tall Arm, 3" Sq. x 13.5" long ships separately</p>	<p>OPTION ORIENTATION</p> <p>Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: SSS-B-20-40-A-TA-DB-C05-0-15 (.5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.</p>  <p>Height of option in feet Bolt Square (Outer) Bolt Square (Inner) Bolt Circle (Outer) Bolt Circle (Inner)</p>		

For more information about pole vibration and vibration dampers, please consult https://hubbellcdn.com/ohwassets/HLI/outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HLI0022.pdf
Due to our continued efforts to improve our products, product specifications are subject to change without notice.

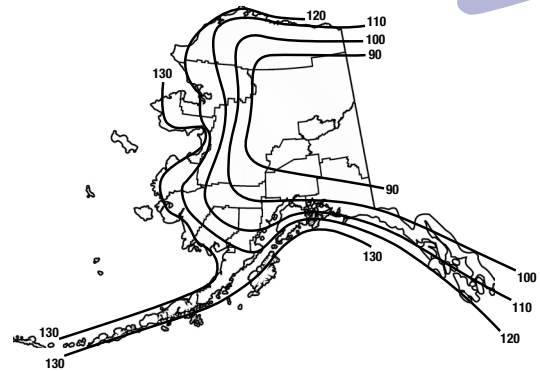
ASCE7-05 WIND MAP



FLORIDA REGION WIND MAP



ALASKA REGION WIND MAP



ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds
(Use for all locations except Florida)

Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-B-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-B-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-B-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-B-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-B-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-B-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-B-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-B-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-B-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-B-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-B-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-B-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-B-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-B-16-50-B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSS-B-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-B-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-B-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-B-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-B-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-B-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-B-20-60-B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSS-B-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-B-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-B-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-B-40-60-B	8.1	5.8	2.2	nr	NR	NR	NR	NR	NR	NR
SSS-B-30-60-C	24.3	20.5	14.6	12.2	10.2	6.8	4.2	2.2	1.3	0.5
SSS-B-35-60-C	16.6	13.5	8.6	6.6	4.9	2.1	NR	NR	NR	NR
SSS-B-40-60-C	10.6	7.9	3.7	2.1	0.6	NR	NR	NR	NR	NR

Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds
(Use for Florida only)

Catalog Number	115	120	130	140	150	160	170	180
SSS-B-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSS-B-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-B-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-B-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-B-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-B-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-B-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-B-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-B-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSS-B-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSS-B-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-B-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-B-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-B-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSS-B-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-B-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-B-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-B-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-B-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-B-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-B-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-B-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SSS-B-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-B-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-B-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR
SSS-B-30-60-C	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-B-35-60-C	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-B-40-60-C	1.8	NR	NR	NR	NR	NR	NR	NR



NOTES

Wind-speed Website disclaimer:

Hubbell Lighting has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third-party website provides a useful starting point for analyzing wind conditions, Hubbell Lighting has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Hubbell Lighting Inc. does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced websites do not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. <http://windspeed.atcouncil.org>

NOTES

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. https://hubbellcdn.com/ohwassets/HLI/outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HL010022.pdf
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

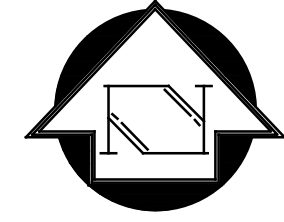
Due to our continued efforts to improve our products, product specifications are subject to change without notice.

PLAT OF EASEMENT

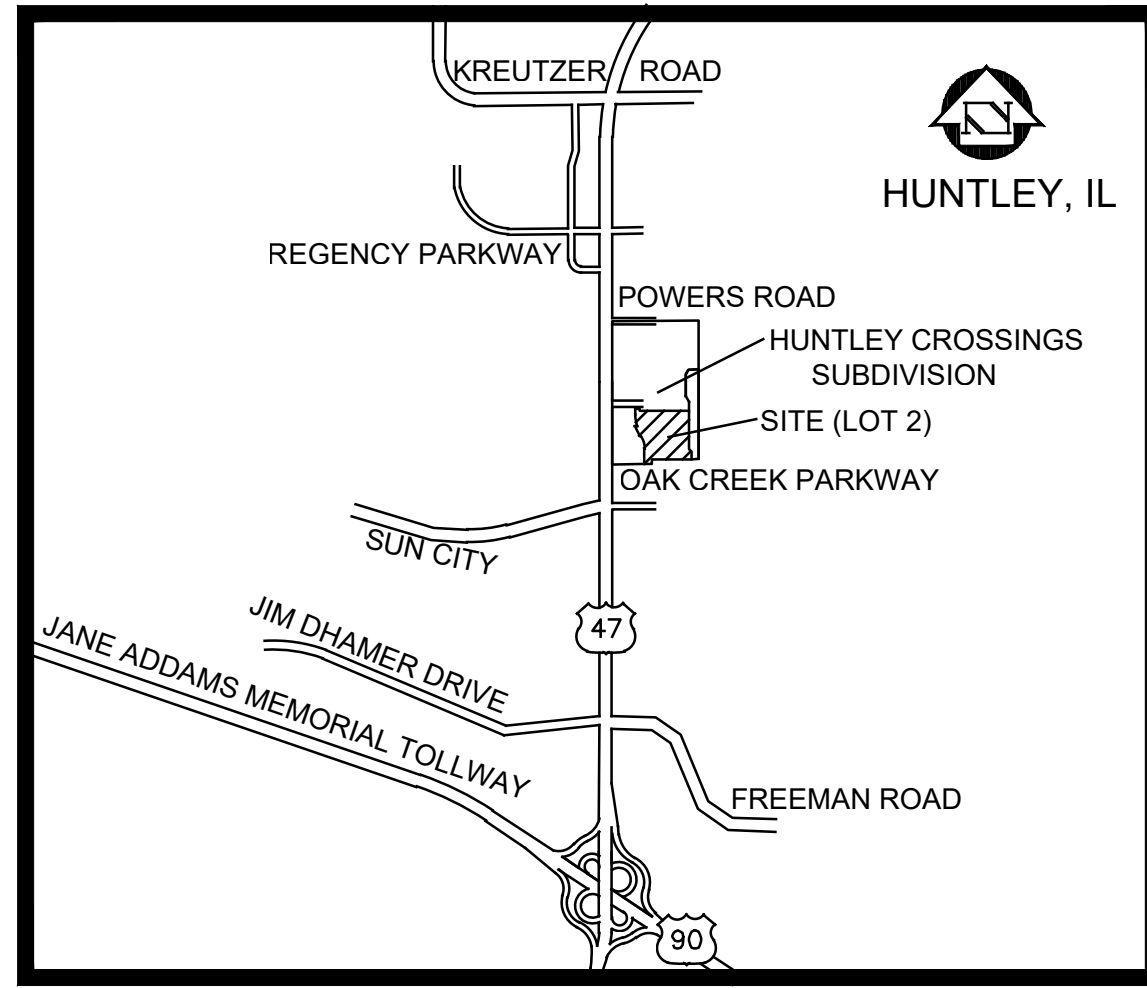
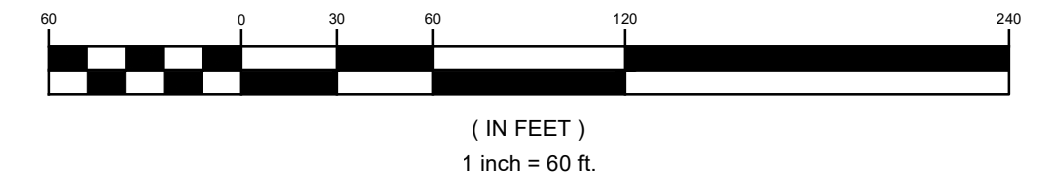
FOR WATER MAIN AND SANITARY SEWER EASEMENTS DESCRIBED AS FOLLOWS:

LEGAL DESCRIPTION:

LOT 2 IN HUNTLEY CROSSINGS, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 28, 2007 AS DOCUMENT NO. 2007K099803 IN KANE COUNTY, ILLINOIS.

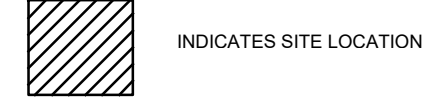


GRAPHIC SCALE



VICINITY MAP

(NOT TO SCALE)



OWNERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

WOODSTOCK HOTEL, INC., does hereby certify that it is the Owner of the hereon described property and that it, as such Owner, has caused the said property to be surveyed and subdivided with the dedications and easements as shown on the hereon drawn plat.

Dated This _____ day of _____, A.D. 2020.

WOODSTOCK HOTEL, INC
10740 BULL VALLEY DRIVE
WOODSTOCK, IL 60098

By: _____

Title: _____

NOTARY PUBLIC

STATE OF ILLINOIS }
COUNTY OF COOK } SS

I, _____, a Notary Public in and for the County in the State aforesaid, do hereby certify that _____ of WOODSTOCK HOTEL, INC, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day and acknowledged that they signed and delivered the foregoing instrument as their own free and voluntary act and as the free and voluntary act of said Limited Liability Company.

Given under my hand and Notarial seal this _____ day of _____, A.D. 2020.

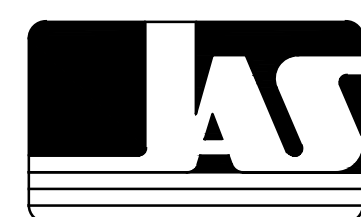
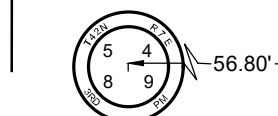
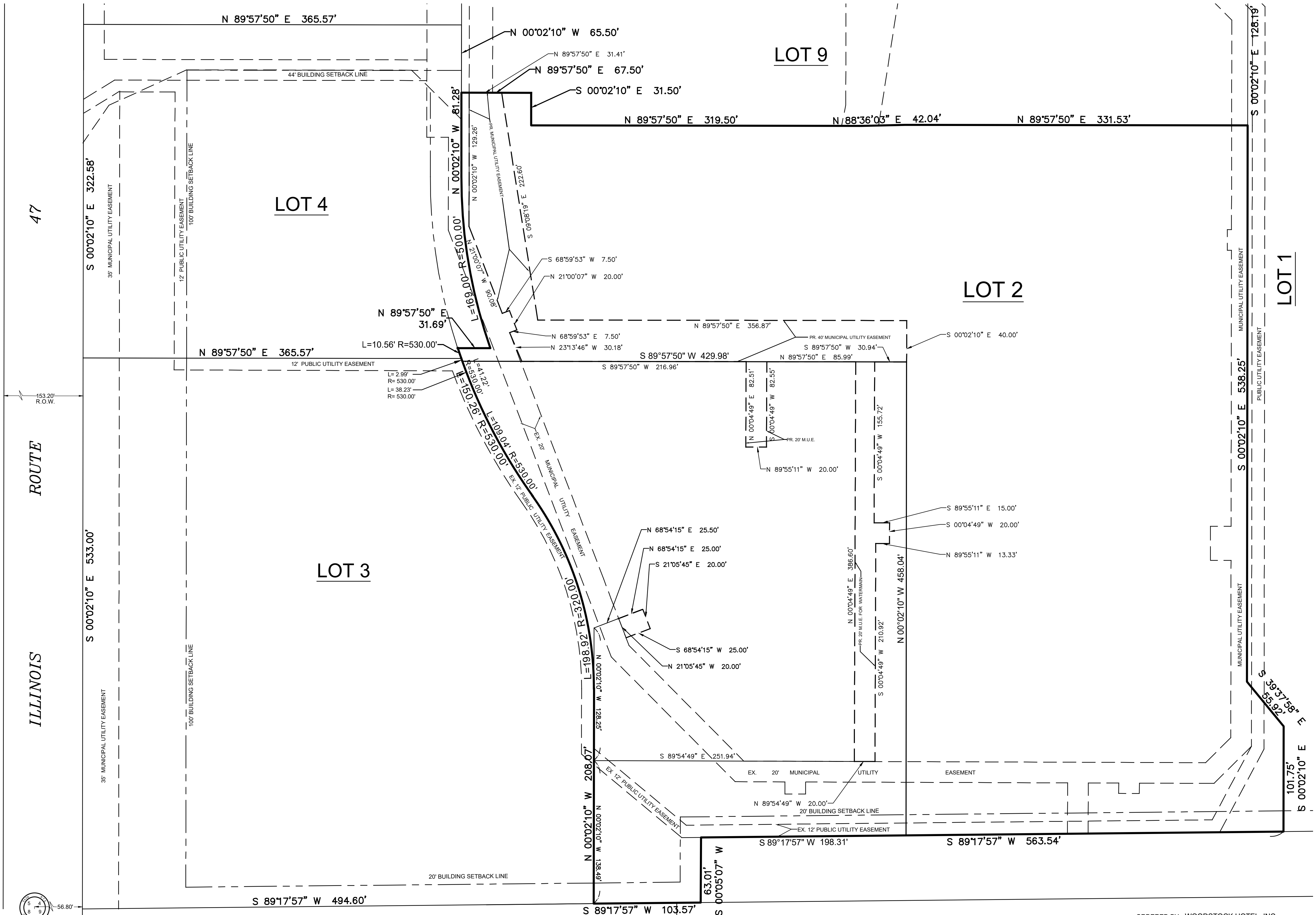
Notary Public

My commission expires: _____

STATE OF ILLINOIS }
COUNTY OF WILL } SS

JOSEPH A. SCHUDT & ASSOCIATES HEREBY CERTIFY THAT THE PLAT HEREON DRAWN HAS BEEN PREPARED AT AND UNDER THEIR SUPERVISION FROM OFFICIAL PLATS AND RECORDS. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

MOKENA, ILLINOIS _____, A.D. 2020.
JOSEPH A. SCHUDT & ASSOCIATES (184-001172)



Joseph A. Schudt & Associates

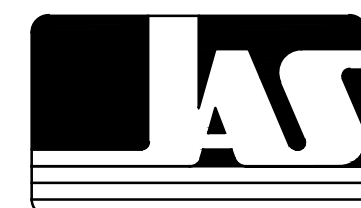
9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 FAX: 708-720-1065
e-mail: jas@jaseng.com http://www.jaseng.com

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

ORDERED BY: WOODSTOCK HOTEL, INC.

ADDRESS: 13000 ILLINOIS ROUTE 47
HUNTLEY, IL 60142

ORDER NO.: 20-019-225



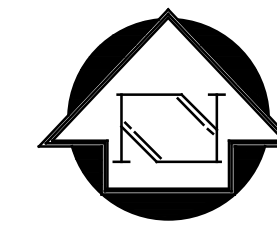
Joseph A. Schudt & Associates

9455 ENTERPRISE DRIVE MOKENA, IL 60448
PHONE: 708-720-1000 FAX: 708-720-1065
e-mail: jas@jaseng.com http://www.jaseng.com

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

PLAT OF ABROGATION

OF THE PUBLIC UTILITY AND DRAINAGE EASEMENT DESCRIBED AS FOLLOWS:



GRAPHIC SCALE



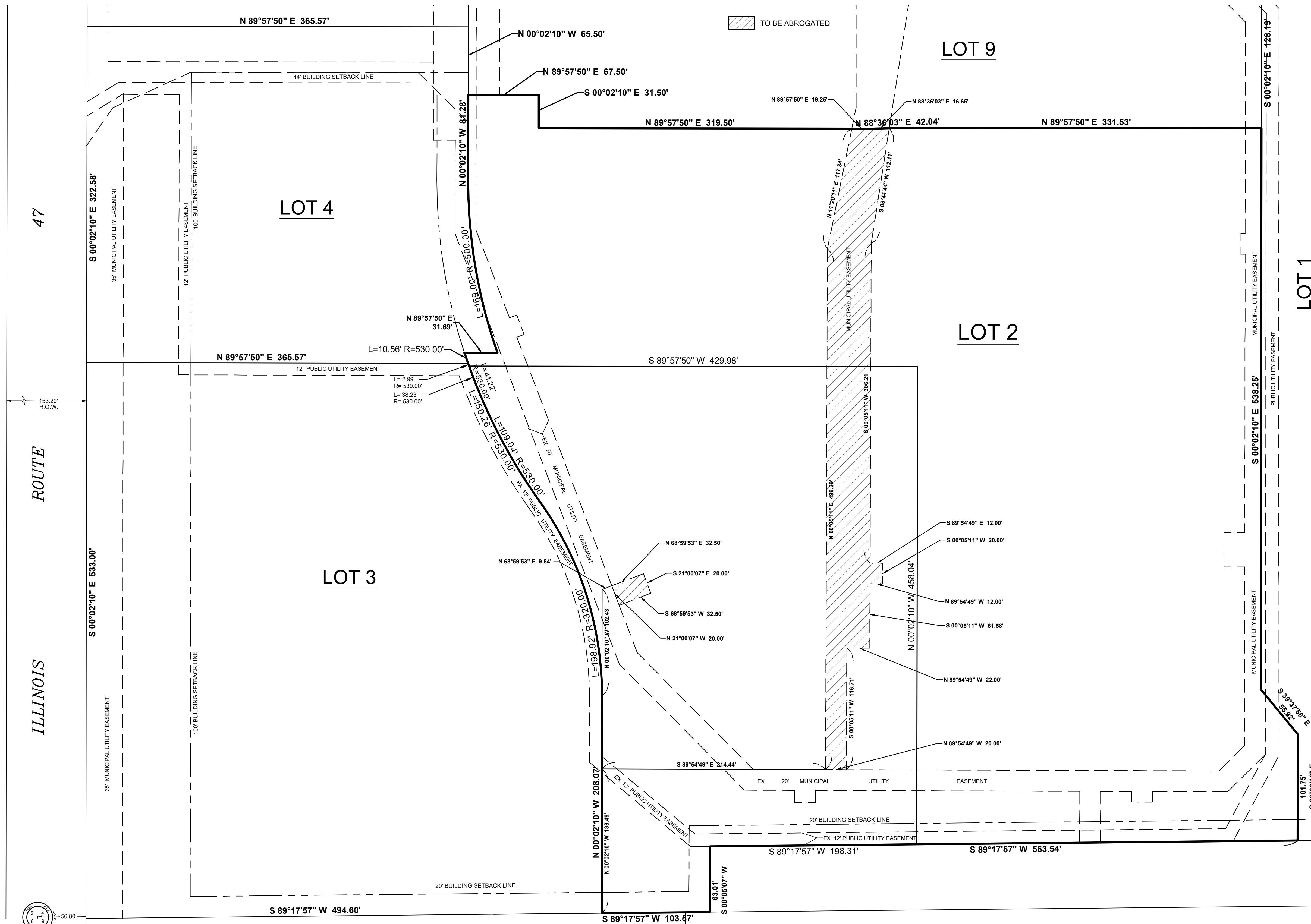
(IN FEET)
1 inch = 60 ft.

LEGAL DESCRIPTION:

LOT 2 IN HUNTLEY CROSSINGS, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 28, 2007 AS DOCUMENT NO. 2007K099803 IN KANE COUNTY, ILLINOIS.

, Illinois.

P.I.N.: 02-04-351-006



OWNERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

WOODSTOCK HOTEL, INC., does hereby certify that it is the Owner of the hereon described property and that it, as such Owner, has caused the said property to be surveyed and subdivided with the dedications and easements as shown on the hereon drawn plat.

Dated This _____ day of _____, A.D. 2020.

WOODSTOCK HOTEL, INC.
10740 BULL VALLEY DRIVE
WOODSTOCK, IL 60098

By: _____

Title: _____

NOTARY PUBLIC

STATE OF ILLINOIS }
COUNTY OF COOK } SS

I, _____, a Notary Public in and for the County in the State aforesaid, do hereby certify that _____, of WOODSTOCK HOTEL, INC, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day and acknowledged that they signed and delivered the foregoing instrument as their own free and voluntary act and as the free and voluntary act of said Limited Liability Company.

Given under my hand and Notarial seal this _____ day of _____, A.D. 2020.

Notary Public

My commission expires: _____

BOARD OF TRUSTEES APPROVAL

Approved and accepted this _____ day of _____, A.D. 2020, by the President and Board of Trustees of the Village of Woodstock, Kane County, Illinois.

BY: _____
Village President

ATTEST: _____
Village Clerk

VILLAGE CLERK'S CERTIFICATE

This is to certify that I, Village Clerk of the Village of Woodstock, Kane County, Illinois, find no deferred installments of outstanding or unpaid special assessments dues against the hereon drawn property.

Dated this _____ day of _____, A.D. 2020.

Village Clerk

SURVEYORS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF WILL } SS

Joseph A. Schudt & Associates hereby certify that they have surveyed the property described hereon from official plats and records, and that the plat hereon drawn is a correct representation of said survey. All dimensions in feet and decimal parts thereof.

MOKENA, ILLINOIS _____, A.D. 2020.
JOSEPH A. SCHUDT & ASSOCIATES

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3152

